



Planning and Zoning Commission Meeting

April 12, 2022

7:00 p.m. – City Hall Council Chambers and Via Videoconference

Anyone who wishes to view the meeting in real time may do so as it will be streamed live on the city’s YouTube page through YouTube Live or may use the Zoom link below to access the meeting.

Join Zoom Meeting
<https://us02web.zoom.us/j/81776604586>
Meeting ID: 817 7660 4586
Passcode: 583367

1. **Call to Order**
2. **Approve the January 11, 2022, Planning Commission Minutes**
3. **Staff Report**
4. **Public Hearing**
 - **Planned Development Overlay District – McBee’s Coffee & Carwash**
Smithville Library Heights Tract A SE corner 169 Hwy and Richardson
5. **McBee’s Coffee & Carwash Planned Development Overlay District**
Two lots to be created with Site Plan Approval of McBee’s Coffee & Carwash building
6. **Public Hearing** *****To Be Postponed*****
 - Single Phase Final Plat – McBee’s Coffee & Carwash (2 lots)
7. **McBee’s Coffee & Carwash Final Plat (2 lots)** *****To Be Postponed*****
8. **Public Hearing**
 - **Rezoning B-3 and A-1 to Planned Development Overlay District with R-3 and B-3 for Fairview Crossing**
NE corner of 144th and 169 Hwy
9. **Fairview Crossing Planned Development Overlay District**
 - 3 multifamily lots – 10 Commercial lots at NE corner of 144th and 169 Hwy
10. **Public Hearing** *****To Be Postponed*****
 - Major Subdivision - Fairview Crossing to create 13 lots
11. **Fairview Crossing Preliminary Plat (13 lots)** *****To Be Postponed*****
12. **Adjourn**



SMITHVILLE PLANNING COMMISSION

REGULAR SESSION

January 11, 2022

7:00 P.M.

City Hall Council Chambers and Via Videoconference

1. CALL TO ORDER

Vice Chairman Dennis Kathcart called the meeting to order at 7:05 p.m.

A quorum of the Commission was present: Alderman John Chevalier, Mayor Damien Boley, Billy Muessig, and Deb Dotson. Dennis Kathcart was present via Zoom. Rob Scarborough and Melissa Wilson were absent.

Staff present: Jack Hendrix and Brandi Schuerger.

2. MINUTES

The December 14, 2021, Regular Session Meeting Minutes were moved for approval by MAYOR BOLEY, Seconded by ALDERMAN CHEVALIER.

Ayes 5, Noes 0. Motion carried.

3. STAFF REPORT

HENDRIX reported:

For calendar year 2021:

- We issued 48 residential building permits which totaled \$15 million in improvement value. This is not including the cost of the land just the improvements.
- We issued 9 commercial building permits which totaled \$35 million in improvement value

So far in 2022 we have issued 1 residential building permit with several more coming. 1 commercial building permit has been issued. This is a

tenant finish permit located at the strip mall at the Marketplace for Jimmy Johns. They should start construction in about a week.

The Eagle Ridge subdivision up by the high school is about 98% done with everything they need to do to get the plat recorded. The developer anticipates giving the first 2 master plans for buildings to the Development Department late this week or early next week so we can start the review process. They are hopeful to start 10 townhome buildings (20 units) very soon.

The 8 townhomes units that we just approved at our December 2021 meeting at 319 E Main Street has started construction. The ground has been graded and they will be starting the footings soon.

There have been discussions about several potential commercial and residential projects but are still waiting on official submittals.

4. INITIAL ZONING PUBLIC HEARING: LOT 24, LAKESIDE CROSSING 1ST PLAT, 15705 N WABASH ST

Public Hearing: None

Public Hearing closed

5. INITIAL ZONING: LOT 24, LAKESIDE CROSSING 1ST PLAT, 15705 N WABASH ST

MAYOR BOLEY motioned to approve the Finding of Facts and initial zoning for lot 24 in Lakeside Crossing to R-1B. Seconded by ALDERMAN CHEVALIER.

DISCUSSION: None

THE VOTE: DOTSON-AYE, MAYOR BOLEY-AYE, KATHCART-AYE, ALDERMAN CHEVALIER-AYE, MUESSIG-AYE.

AYES-5, NOES-0. MOTION PASSED

6. ADJOURN

MUESSIG made a motion to adjourn. MAYOR BOLEY seconded the motion.

VOICE VOTE: UNANIMOUS

KATHCART declared the session adjourned at 7:10 p.m.



April 7, 2022

Conceptual Plan Approval of Clay County Parcel Id # 05-909-00-03-011.00

Application for a Conceptual Plan Approval – McBee's Coffee & Carwash

Code Sections:

400.200 et seq. Planned Development Overlay District

Property Information:

Address: Richardson St. and 169 SE Corner

Owner: Jolarub LLC

Current Zoning: B-3

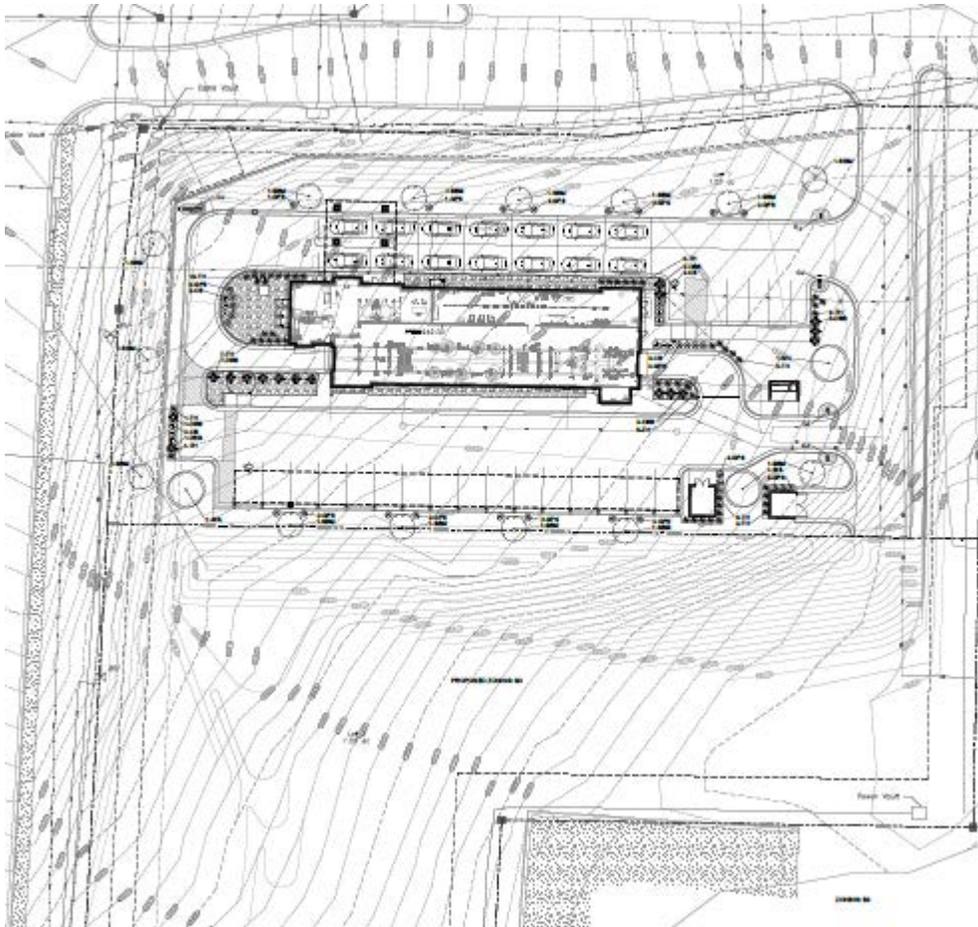
Public Notice Dates:

1st Publication in Newspaper: March 24, 2022

Letters to Property Owners w/in 185': March 28, 2022

GENERAL DESCRIPTION:

The property is currently Tract A, Smithville Library Heights. The proposed conceptual plan is to divide this 3.1 acre parcel into two separate commercial lots ranging in size from 1.52 to 1.58 acres with variances to the minimum lot size for B-3 districts. Access to the lots would be through 2 combined access points, one on Richardson St. (McBee's primary) and one on 169 (undeveloped lot primary). Bot access points would interconnect with shared access points.



400.200.B.3 Guidelines for review of a conceptual development plan for a Planned Development Overlay District, the Commission shall consider the requirements in the site plan review provisions in Section 400.390 through 400.440 when evaluating the following:

a. Topography; to ensure the site is suitable for development, and buildings are located and arranged in appropriate areas.

Development placement will ultimately include a retaining wall to separate the hotel lot to the south from access into this project, but grading is overall minimum.

b. Parking; to ensure the proposed development contains an adequate amount of parking and is located in an appropriate area or adequately screened. Generally, the parking should conform to the required number of spaces appropriate to the development type as contained in Section 400.470. The Commission may allow a deviation from these parking requirements should the applicant show an adequate amount of parking exists.

Development is laid out in a fashion to meet the site plan requirements on both lots. The proposed drive thru carwash is the only definitive project, and exceeds the minimum parking standards. The remaining

lot has no definitive use/building, so no calculations can be made. There exists sufficient land to address parking and that lot development will require Site Plan Review to address all aspects.

c. Setbacks; to ensure buildings provide for adequate light, air, and privacy protection by providing appropriate proportion between buildings, and adequate separation between buildings and adjoining properties.

Development leaves ample spacing between the proposed buildings, as well as the existing facilities.

d. Architecture; to ensure the architectural theme is compatible and consistent throughout the project and is reasonably compatible with surrounding developments.

The Development includes only one tenant currently and seeks to create the overall look of the development without limiting potential tenants. The carwash facility complies with the current site plan regulations and future development of lot 2 must comply with site plan requirements in existence at the time of development. All other elements are identified and required as show herein.

e. Site plan; to ensure the location and arrangement of buildings, signs and other structures are appropriate for the site, existing and proposed streets, drives and public ways are arranged appropriately and to ensure site drainage has been adequately addressed.

Development prepared and submitted a Stormwater Study and has agreed to construct the required detention structures when the project begins.

f. Landscaping; to ensure the development provides adequate landscaping to provide a pleasant environment, to enhance the building's appearance, to ensure existing significant trees are adequately protected.

The Development will include landscaping as shown on the submitted plans for the car wash site, and the vacant lot 2 will be required to comply with regulations in place at the time of development.

g. Any other feature or issue associated with the State zoning and planning enabling legislation or the Comprehensive Plan for the City of Smithville for which the Commission feels is appropriate and relevant to the development of the site.

Development will include a contribution to the installation of a traffic light at the 169 & Richardson intersection. Developer submitted a Traffic Update to the Richardson Street Plaza Study which indicated that a light met two of the traffic warrants at the intersection NOW, and that further traffic would reach the levels of other warrants, so a light was needed. This development contribution will be subject to a development agreement to be completed prior to Final Plat submittal.

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the proposed Conceptual plan based upon adherence to the conditions contained in this report, and specifically includes the following recommended findings as contained in 400.200.B.4:

1. That the Commission has reviewed the conceptual development plan with consideration of the issues contained in Subsection (B)(3) above; and
2. That the conceptual development plan is in conformance with the comprehensive land use plan and other appropriate Sections of the Code of Ordinances; and
3. That the conceptual development plan provides for an organized and unified system of land use intensities which are compatible with the surrounding areas; and
4. That the proposed development adequately protects the health, safety and general welfare of future and existing residents and property owners in and around the development.

Respectfully Submitted,

Director of Development

project synopsis:

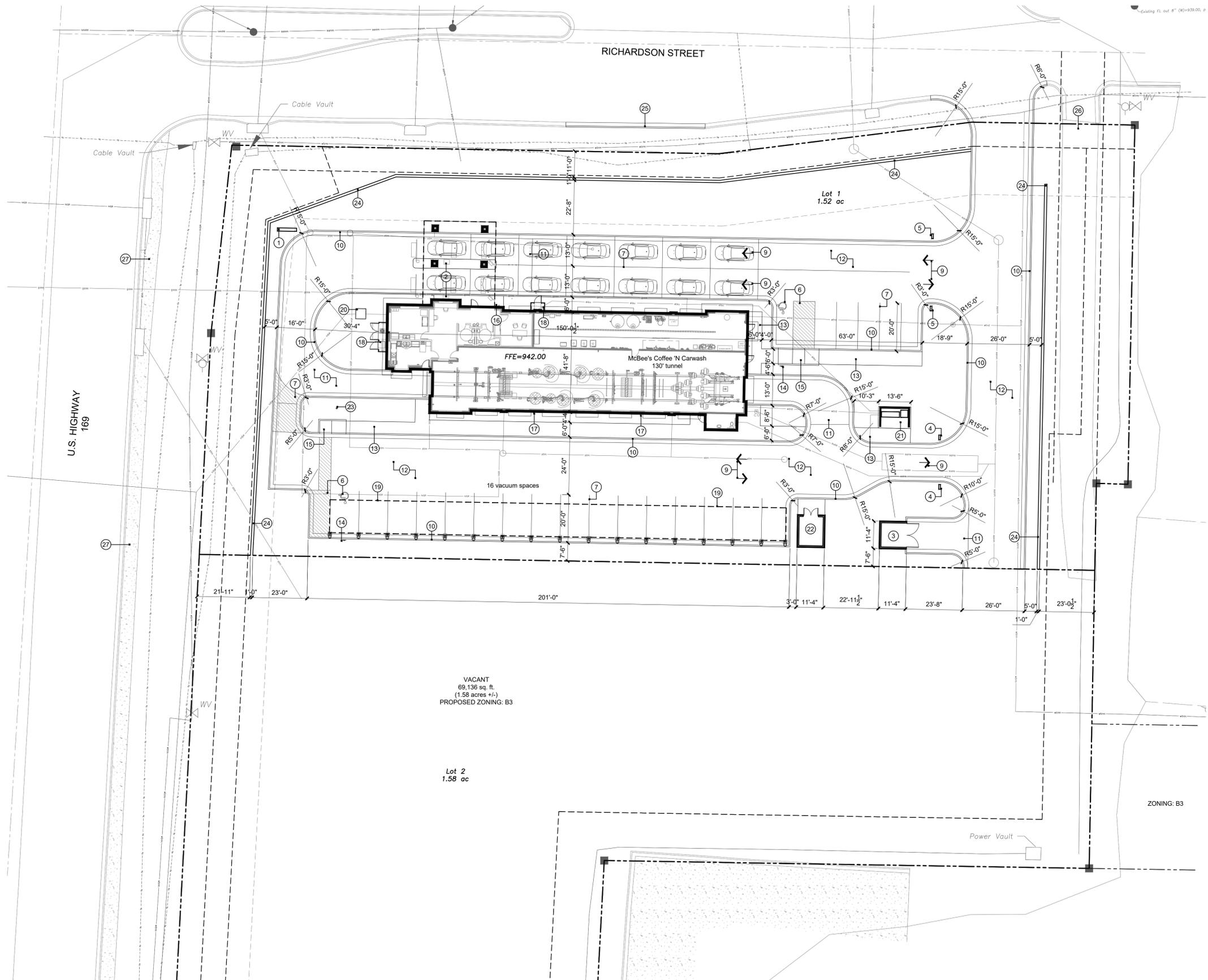
Governing Municipality: Smithville, Missouri
 Governing Code: 2018 International Building Code
 Project Manager / Point of Contact: Johnathon R. Phillips, AIA
 Davidson Architecture & Engineering
 4301 Indian Creek Parkway
 Overland Park, Kansas 66207
 p: 913.451.9390
 Owner: McBee Coffe 'N Carwash, Inc.
 103 Industrial Parkway
 Gallatin, MO 64640
 Civil Engineer: Hilary Zerr, PE
 Davidson Architecture & Engineering
 4301 Indian Creek Parkway
 Overland Park, Kansas 66207
 p: 913.451.9390
 Site Area: McBee's: 66,475 sq. ft. (1.52 acres +/-)
 Vacant: 69,136 sq. ft. (1.58 acres +/-)
 Building Area: 5,794 sq. ft.
 Proposed Zoning: B-3
 Proposed Imperv. Area: 35,949 sq. ft. (0.82 acres +/-) 54.1%
 Proposed Green Space: 30,526 sq. ft. (0.70 acres +/-) 45.9%
 Parking: 15 standard vacuum bays
 1 handicap vacuum bay
 5 standard employee spaces
 1 handicap employee space
 Total = 22 spaces provide

general notes:

- All construction shall conform to the standards and specifications of Smithville, Missouri.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify exist. surface & subsurface ground conditions prior to start of construction.
- Slopes shall maintain a maximum 3:1 slope.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- General contractor and all subcontractors must register with the Building Department before issuance of permit.
- Energy code requirements and inspections are to be performed by a third party inspector, supplied by General Contractor and/or owner. The City will not perform energy related inspections, however, documentation is required to verify compliance of the energy code requirements.
- Place silt fence per civil for erosion control.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. Contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All exterior utility services shall be painted to match the primary building color.
- Prior to final inspection, the general contractor shall meet with the Smithville Fire Department to designate fire line and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box will be installed on the front of the building facing the street or road.
- Caulk joint at perimeter of building around sidewalk. Color to match building colors. GC shall take care not to seal any exterior finish drainage elements.

construction notes:

- Monument sign per detail 2/A3.2. Footing by GC and sign by signage supplier. GC shall install electrical per electrical drawings.
- Pay station equipment by others. Footings by GC and equipment by supplier. GC shall install electrical per electrical drawings.
- Trash enclosure per detail 1/A1.2.
- Directional sign (THANK YOU / DO NOT ENTER) per detail 1/A3.2.
- Directional sign (WELCOME) per detail 1/A3.2.
- ADA parking stall per civil drawings.
- 4" solid white striping typ.
- Light pole and base per electrical drawings.
- White thermoplastic directional markings per detail.
- Furnish and install standard depth concrete curb and gutter per civil drawings.
- Concrete paving to meet Geotechnical specifications and per civil drawings.
- Asphalt paving to meet Geotechnical specifications and per civil drawings.
- New concrete sidewalk per civil.
- Handicap parking sign per detail on A1.3.
- Accessible ramp at sidewalk per civil.
- Furnish and install a Knox Box at 60" a.f.g. for fire department access. Contact Fire Marshal for ordering information and to coordinate location prior to installation.
- Downspout to tie into storm system per civil drawings.
- Furnish and install mechanical screen per details on sheet A1.2.
- Vacuum canopy above per vacuum equipment supplier.
- Approximate transformer location per electrical drawings.
- Furnish and install self contained dog wash unit, vending machine and canopy enclosure provided by owner supplied vendor. GC shall install concrete pad and utilities as required per vendor requirement.
- Vacuum turbine enclosure per detail 5/A1.2.
- Furnish and install 30' flag pole with direct ground mounted up-light per electrical drawings.
- Retaining wall and guard rail along top of wall per civil drawings.
- Install new concrete curb and patch pavement as required per civil drawings.
- Existing gravel access drive to remain.
- Existing public sidewalk to remain.



a new development for
McBee's Coffee 'N Carwash
 Highway 169 and Richardson
 Smithville, Missouri 64081

date 03.11.2022
 drawn by DAE
 checked by DAE
 revisions

sheet number
A1.1
 drawing type rezoning
 project number 21072-13

1 site plan
 scale: 1" = 20'-0"
 north



Local Benchmarks:

BM-1: Set MAG Nail & Washer in Asphalt Drive
Elevation: 961.78'
N: 1167414.87
E: 2765665.53

BM-2: Set MAG Nail in Concrete Curb @ O'Reilly Drive Entrance
Elevation: 952.38'
N: 1167099.23
E: 2765322.38

BM-3: Set MAG Nail in Concrete Island
Elevation:
N: 1167634.77
E: 2765318.02

Property Legend

- right of way
- property lines
- - - easements
- - - setbacks

Grading Legend

- - - existing minor contour
- - - existing major contour
- - - proposed minor contour
- - - proposed major contour

Utility Legend

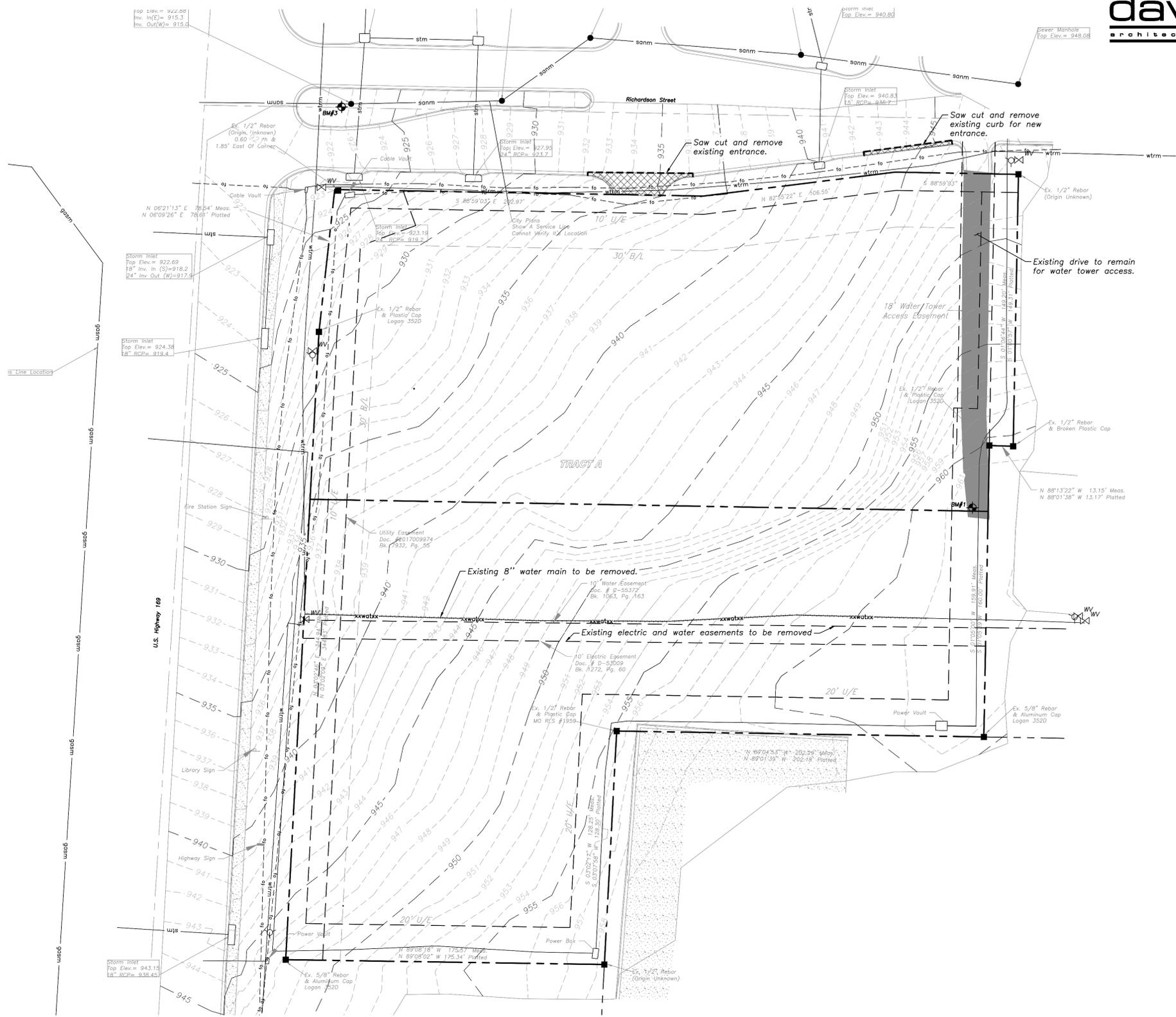
- existing
- - - proposed

Linetypes

- sanm sanitary main
- san service sanitary service
- ssm storm sewer (existing)
- ssm storm sewer (solid wall, proposed)
- stm storm sewer (solid wall, proposed)
- stm storm sewer (perforated, proposed)
- wtrm water main
- wtrf water service (fire)
- wtrd water service (domestic)
- wtri water service (irrigation)
- gasm natural gas main
- gass natural gas service schematic
- elpu underground primary electric
- elsu underground secondary electric
- elpo overhead electric
- datu underground cable/phone/data
- datu underground cable/phone/data service
- u fence-chainlink
- u fence-wood
- u fence-barbed wire
- u treeline

Symbols

- ⊙ sanitary manhole
- ⊙ service cleanout
- ⊙ force main release valve
- rectangular structure
- circular structure
- ⊕ fire hydrant
- ⊕ water valve
- ⊕ water meter
- ⊕ backflow preventer
- ⊕ natural gas meter
- ⊕ service transformer (pad mount)
- ⊕ primary switch gear
- ⊕ light pole
- ⊕ cable/phone/data junction box
- ⊕ street light
- ⊕ pedestrian street light
- ⊕ electric pole
- ⊕ guy wire
- ⊕ end section



Demolition Legend

- ⊗ remove existing structures and associated pipe
- ⊗ remove existing power/light pole and associated wiring
- ⊗ remove existing trees
- ▨ existing building demolition
- ▨ remove full depth existing pavement and curb & gutter
- ▨ remove existing retaining wall/fence
- ▨ remove existing sidewalk & landscaping
- - - Saw cut

Demolition Legend

- Coordinate removal of existing/former gas main with utility.
- Coordinate removal of existing/former sanitary sewer lines with city.
- Coordinate removal of existing/former water lines with utility.
- Remove full existing storm sewer lines and structures as shown.
- Coordinate removal of existing/former telecom/data with utility
- Coordinate removal of existing primary & secondary electrical with utility

Existing Conditions/Demo Plan
Scale: 1"=30'
North arrow and graphic scale bar (0, 15, 30, 60 feet).

a new development for

McBee's Coffee 'N Carwash

Highway 169 and Richardson
Smithville, Missouri 64081

date 03.11.2022
drawn by HAZ
checked by DAE
revisions

sheet number

C1.0

drawing type rezoning
project number 21072-13



Local Benchmarks:

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Elevation: 961.78'
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E: 2765665.53
- BM-2:** Set MAG Nail in Concrete Curb @ O'Reilly Drive Entrance
Elevation: 952.38'
N: 1167099.23
E: 2765322.38
- BM-3:** Set MAG Nail in Concrete Island
Elevation:
N: 1167634.77
E: 2765318.02

Floodplain Note:

No portion of this property lies within the area designated as Zone AE as shown on FEMA FIRM Community panel no. 29047C0014E, effective 08/3/2015.

Grading Legend

- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Utility Legend

- existing
- proposed

Linetypes

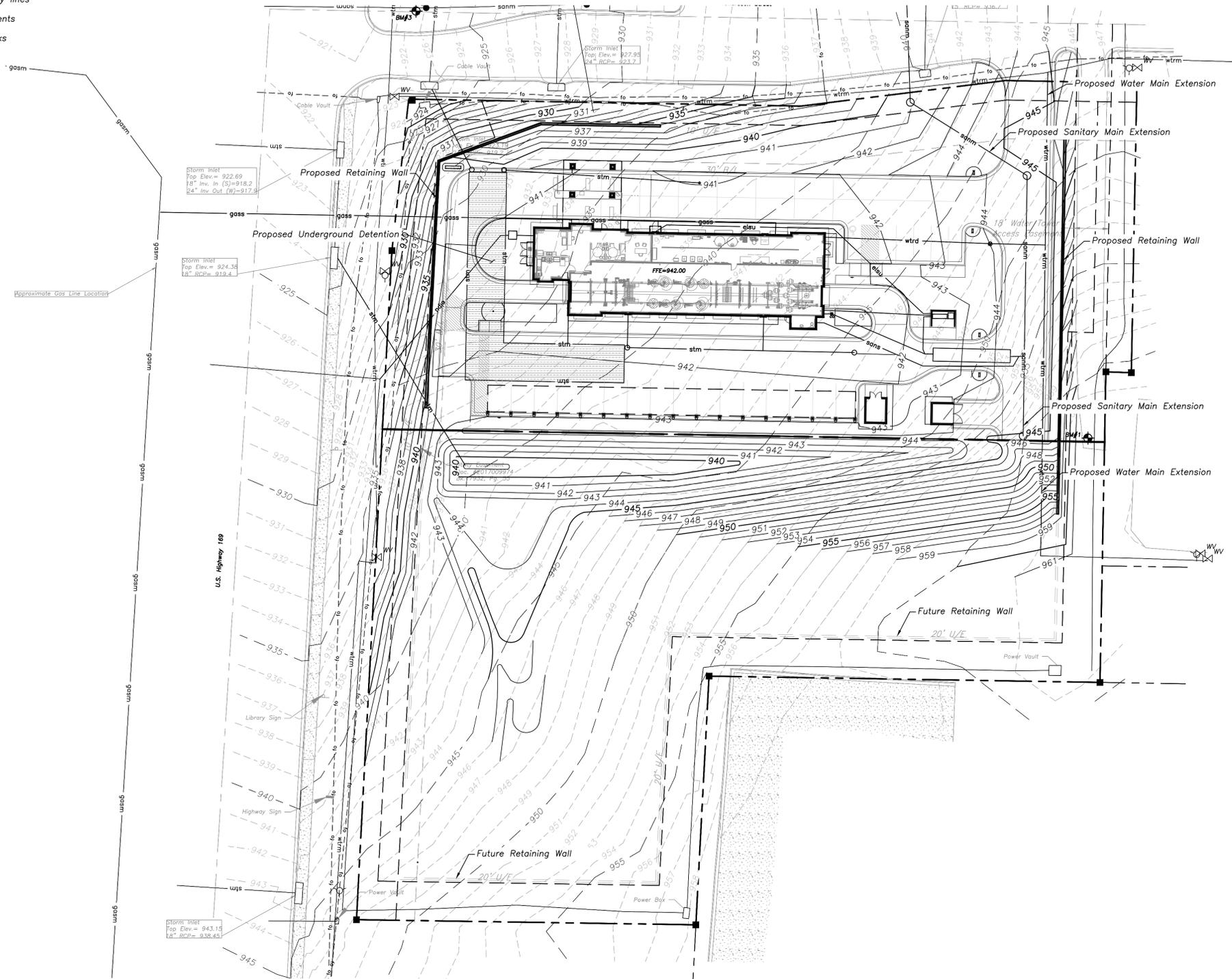
- sanm sanitary main
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- elpu underground primary electric
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- datu underground cable/phone/data
- datvu underground cable/phone/data service
- fence-chainlink fence-chainlink
- fence-wood fence-wood
- fence-barbed wire fence-barbed wire
- treeline treeline

Symbols

- ⊙ sanitary manhole
- ⊙ service cleanout
- ⊙ force main release valve
- rectangular structure
- circular structure
- ⊕ fire hydrant
- ⊕ water valve
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- ⊕ street light
- ⊕ pedestrian street light
- ⊕ electric pole
- ⊕ guy wire
- ⊕ end section

Property Legend

- right of way
- property lines
- easements
- setbacks



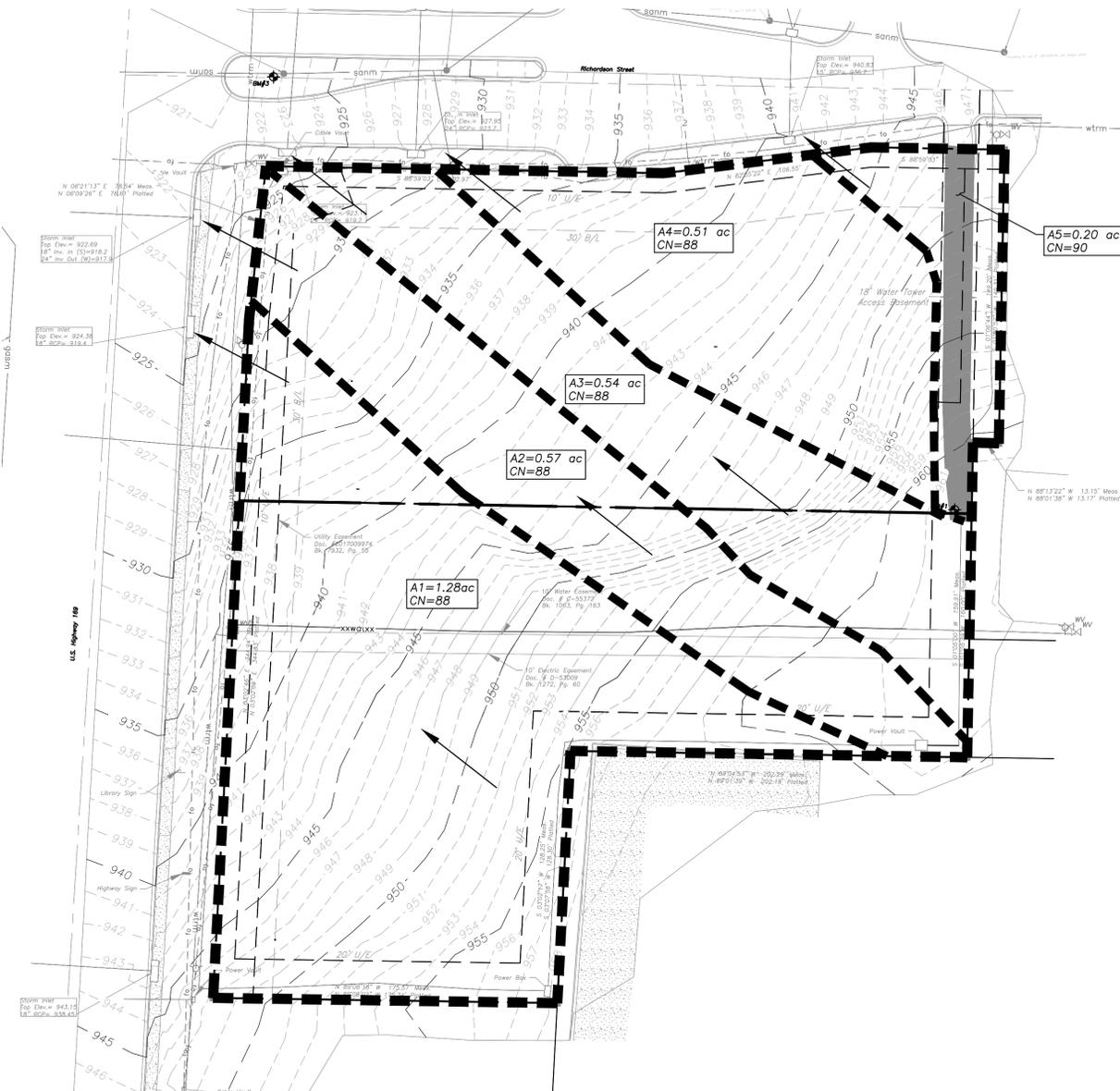
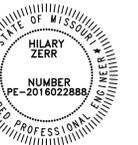
1 Grading and Erosion Control Plan
scale: 1"=30'
0 15 30 60

a new development for
McBee's Coffee 'N Carwash
Highway 169 and Richardson
Smithville, Missouri 64081

date 03.11.2022
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sheet number
C2.0
drawing type rezoning
project number 21072-13



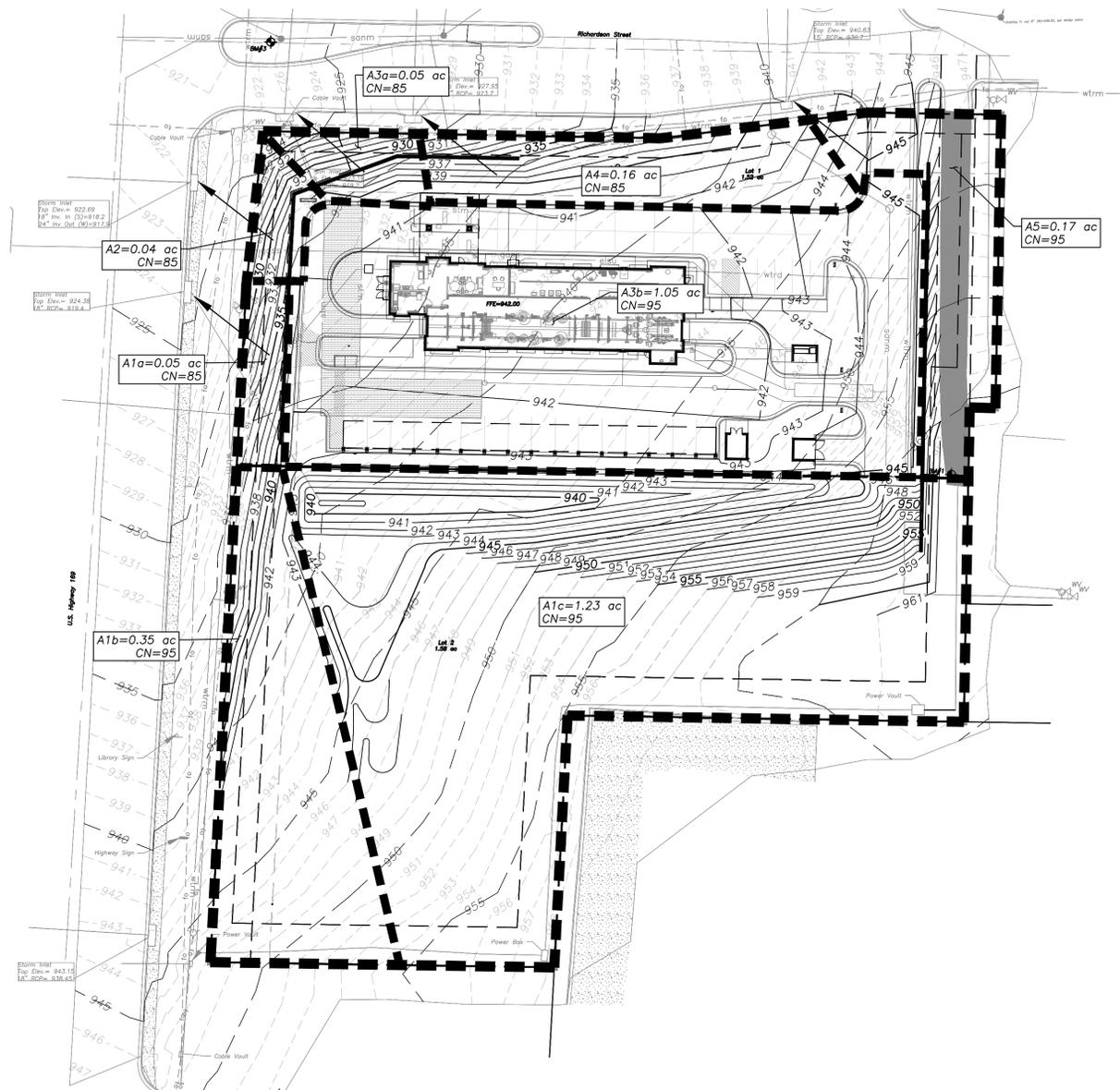


Pre-Construction Impervious Area Calculations

	Square Feet	Acres
Area of Site	135,400	3.10
Impervious Area	2,639	0.06
Pervious Area	132,761	3.04

Q: 2 year	11.66 cfs
10 year	19.71 cfs
100 year	29.47 cfs

1 Existing Drainage Area Map
1"=40'



Post-Construction Impervious Area Calculations

	Square Feet	Acres
Area of Site	135,400	3.10
Lot 1		
Impervious Area	35,949	0.82
Pervious Area	30,526	0.70
Lot 2		
Impervious Area	58,370	1.34
Pervious Area	10,454	0.24

Q: 2 year	7.17 cfs
10 year	10.77 cfs
100 year	16.11 cfs

2 Proposed Drainage Area Map
1"=40'

Floodplain Note:

As referenced in FEMA FIRM Community Panel Number 29047C0102E Effective Date: August 3, 2015 this parcel lies within Zone "X". Areas determined to be outside the 0.2% annual chance Floodplain.

Drainage Legend

--- drainage area



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Smithville, Missouri 64081

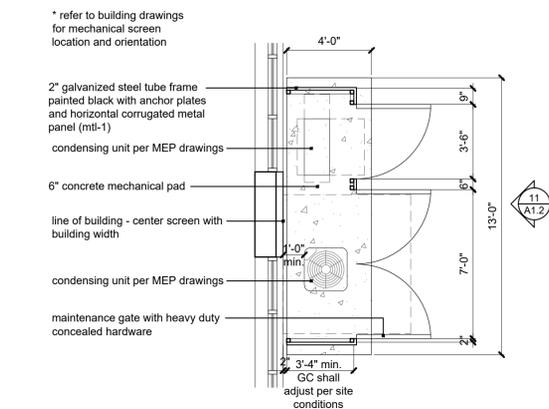
date
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DAE
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sheet number

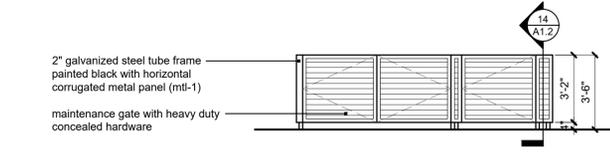
C3.1

drawing type
rezoning

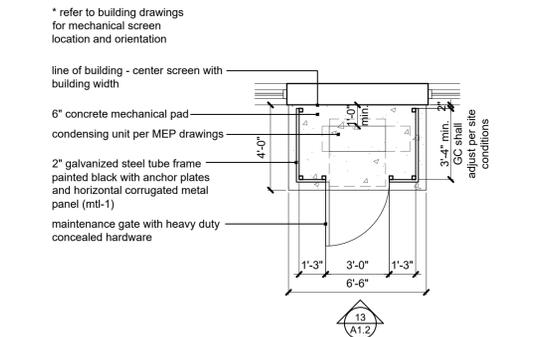
project number
21072-13



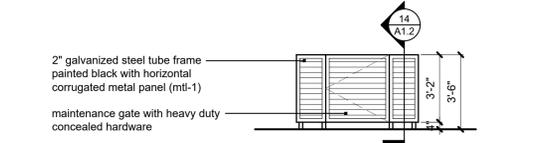
10 mechanical screen plan
scale: 1/4" = 1'-0"
north



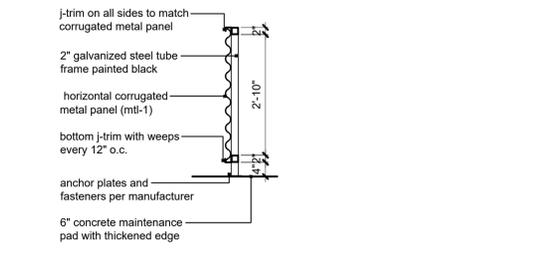
11 mechanical screen elevation
scale: 1/4" = 1'-0"



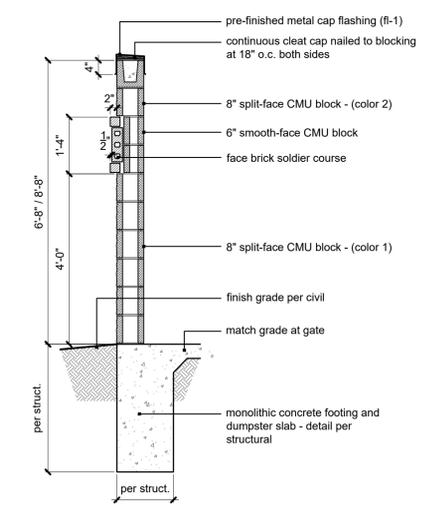
12 mechanical screen plan
scale: 1/4" = 1'-0"
north



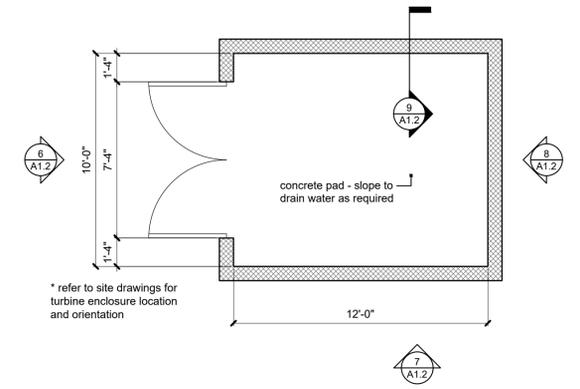
13 mechanical screen elevation
scale: 1/4" = 1'-0"



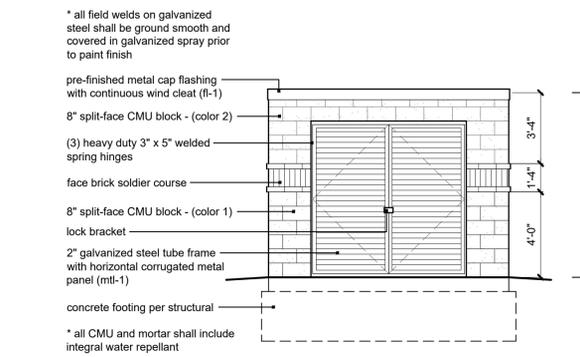
14 mechanical screen section (typ)
scale: 1/4" = 1'-0"



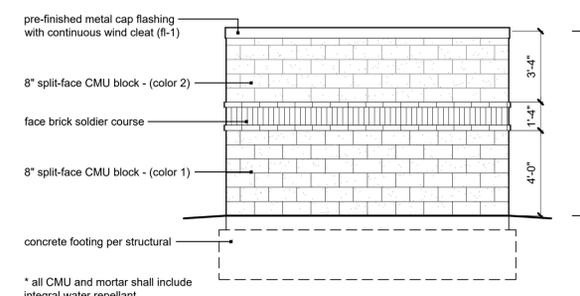
9 typical enclosure section
scale: 1/2" = 1'-0"



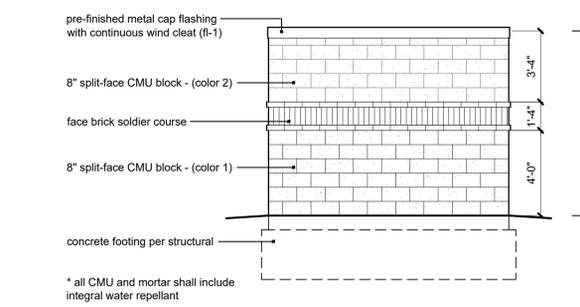
5 vacuum turbine enclosure plan
scale: 1/4" = 1'-0"



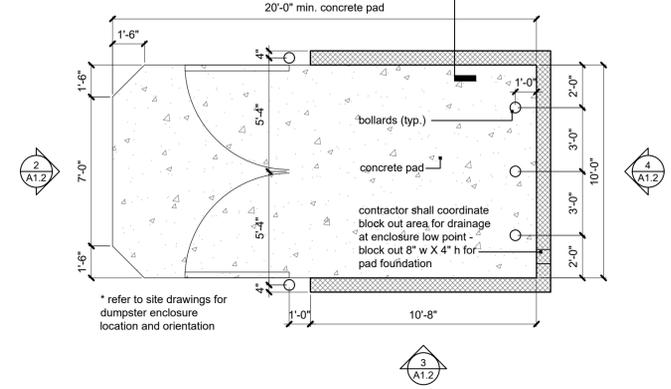
6 vacuum turbine enclosure elevation
scale: 1/4" = 1'-0"



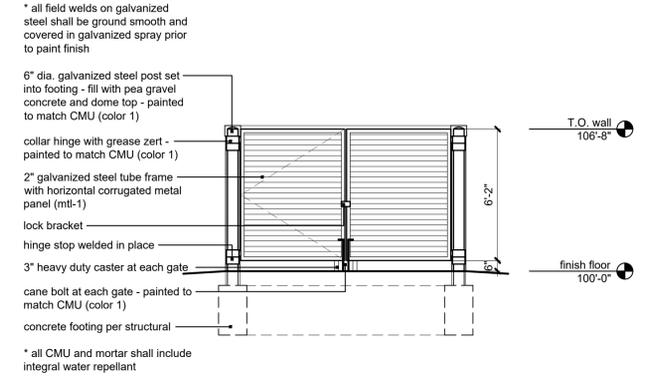
7 vacuum turbine enclosure elevation
scale: 1/4" = 1'-0"



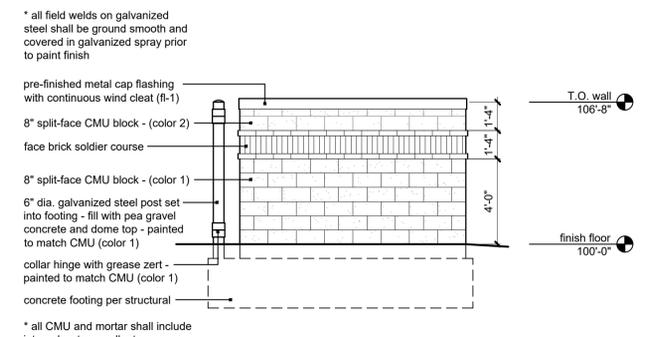
8 vacuum turbine enclosure elevation
scale: 1/4" = 1'-0"



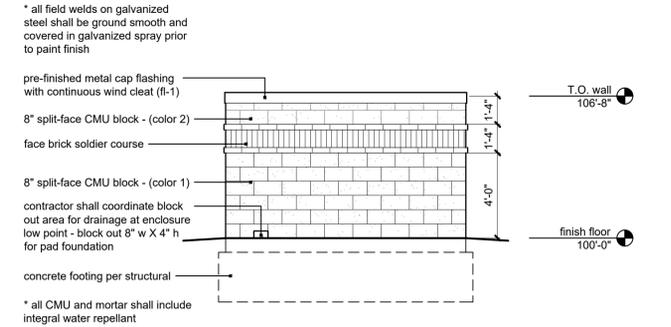
1 trash enclosure plan
scale: 1/4" = 1'-0"



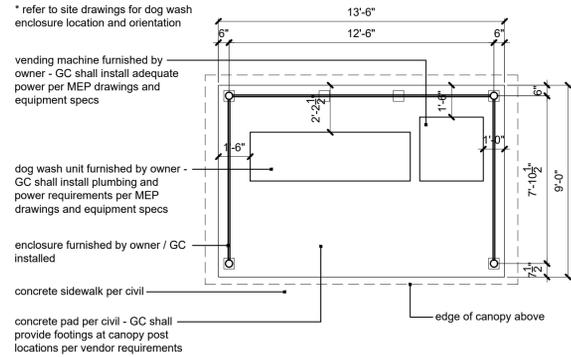
2 trash enclosure elevation
scale: 1/4" = 1'-0"



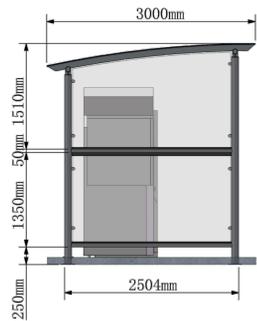
3 trash enclosure elevation
scale: 1/4" = 1'-0"



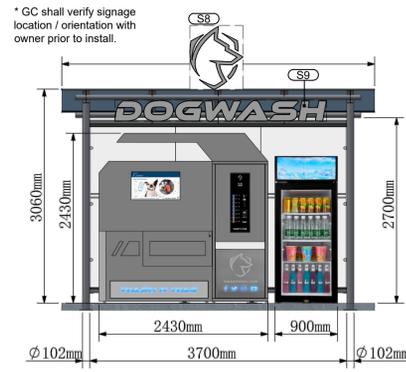
4 trash enclosure elevation
scale: 1/4" = 1'-0"



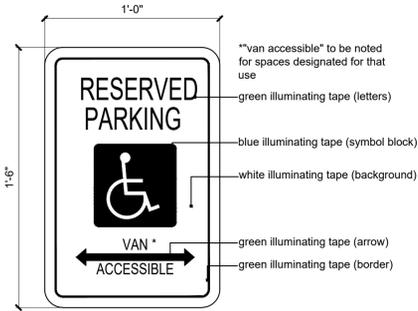
7 dog wash / vending plan
 scale: 1/4" = 1'-0"



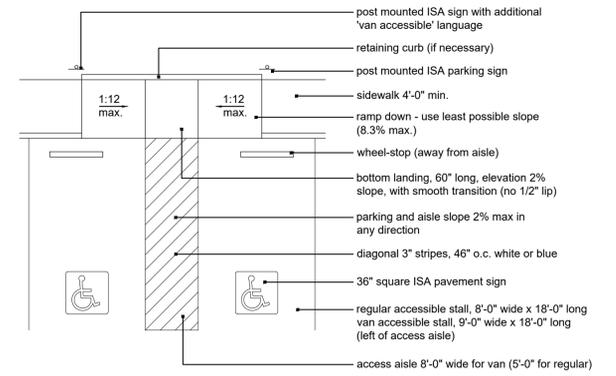
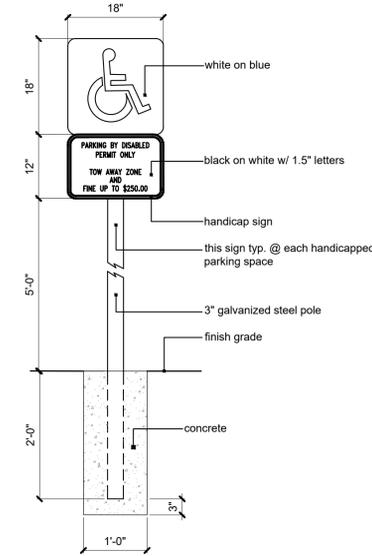
Side view



Front view



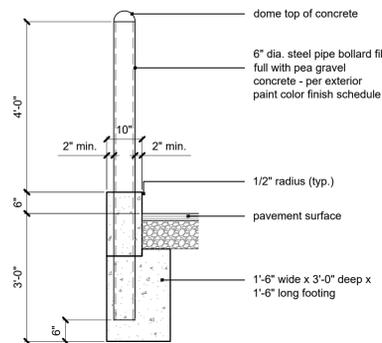
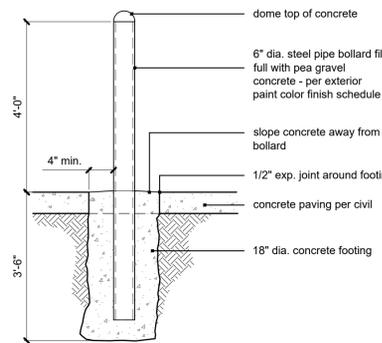
4 typical handicap sign detail
 scale: 3/8" = 1'-0"



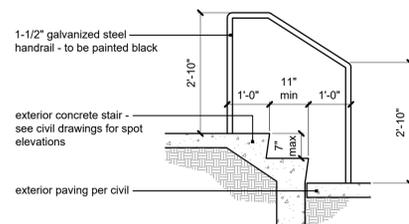
1 typical accessible parking stall detail
 scale: 1/8" = 1'-0"

9 dog wash / vending perspective
 scale: 1/4" = 1'-0"

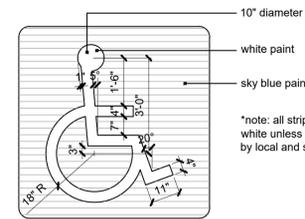
8 dog wash / vending perspective
 scale: 1/4" = 1'-0"



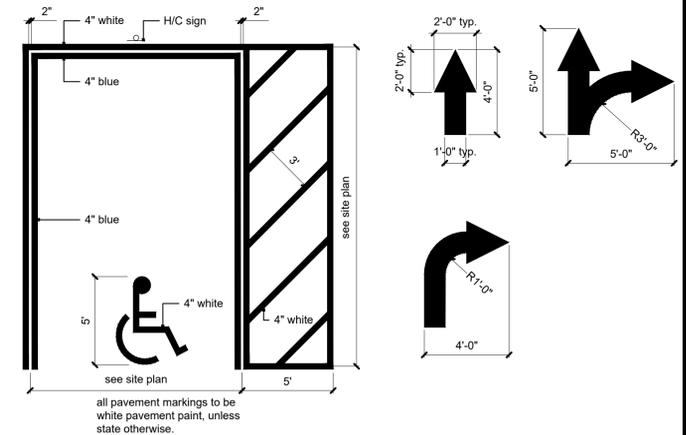
5 typical bollard details
 scale: 1/2" = 1'-0"



6 exterior concrete stair detail
 scale: 1/2" = 1'-0"



2 painted handicap symbol detail
 scale: 3/8" = 1'-0"



3 typical pavement markings
 scale: 3/8" = 1'-0"

a new development for

McBee's Coffee 'N Carwash

Highway 169 and Richardson
 Smithville, Missouri 64081

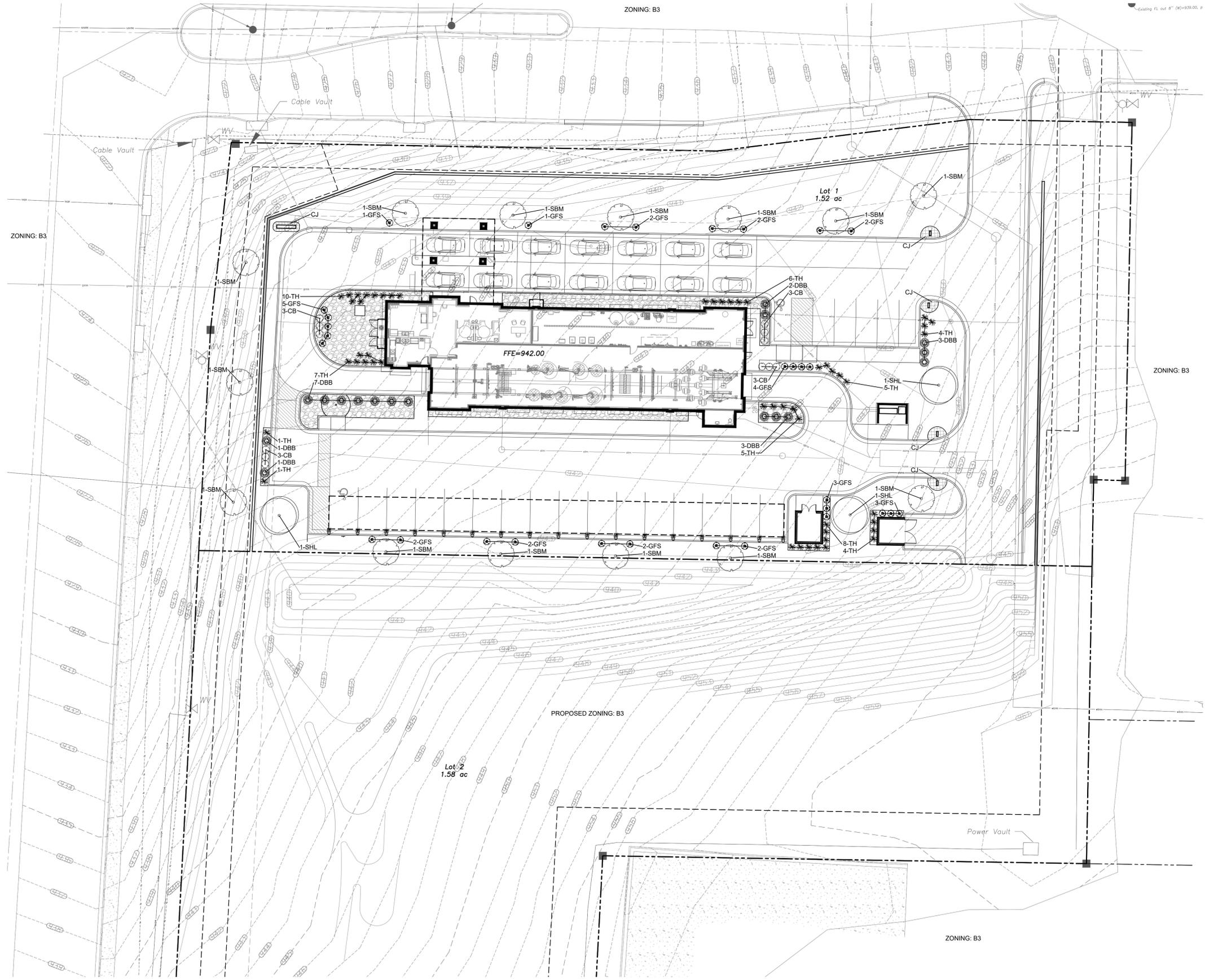
date
 03.11.2022
 drawn by
 DAE
 checked by
 DAE
 revisions

sheet number

A1.3

drawing type
 rezoning

project number
 21072-13



a new development for
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L1.1
 drawing type rezoning
 project number 21072-13

1 site plan
 scale: 1" = 20'-0"



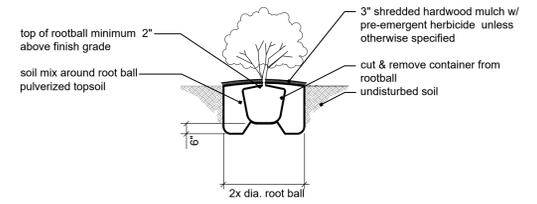
Tree and Shrub Planting List						
	ITEM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION	MATURE HEIGHT
TREES / EVERGREEN / DECIDUOUS	SHL	3	SUNBURST HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SUNBURST'	2.5" CAL.	30' - 35'
	SBM	14	SWEETBAY MAGNOLIA	MAGNOLIA VIRGINANA	2.5" CAL.	10' - 20'
	WP	0	WHITE PINE	PINUS STROBUS	6' - 8' TALL	8'-12'
SHRUBS	CB	12	COMMON BOXWOOD	BUXUS SEMPERVIRENS	3-5 GALLON	24" - 30"
	GFS	31	GOLDFLAME SPIREA	SPIRAEA X BUMALDA	3-5 GALLON	24" - 30"
	DBB	17	DWARF BURNING BUSH	EUONYMUS ALATA 'COMPACTA'	3-5 GALLON	48" - 60"
GRASS	TH	51	TUFTED HAIRGRASS	DESCHAMPSIA CESPITOSA	1 GALLON	18" - 36"
	CJ	150 s.f.	GOLDEN CREEPING JENNY	LYSIMACHIA NUMMULARIA 'AUREA'		4" - 6"
GROUND COVER			1" - 3" WASHED RIVER ROCK			

General Landscaping Notes

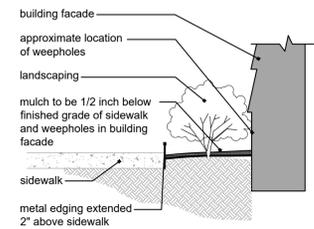
- Landscaping shall be coordinated with the location of utilities, driveways and traffic clearance zones.
- The contractor doing excavation on public right-of-way shall give 48 hours advance notice to and obtain information from utility companies.
- Prior to commencement of work, the contractor shall notify all those companies which have facilities in the near vicinity of the construction to be performed.
- Existing underground, overhead, utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies to locate their utilities before actual construction.
- Contractor shall verify location of and protect all utilities and structures. Damage to utilities and structures shall be repaired by the contractor to the satisfaction of the owner at no additional expense.
- Entire site to be irrigated by underground system, including right of way as req'd. (limits of sod including all other disturbed area's and all planting beds)
- Irrigation system shall include an automatic rain sensor.
- All landscape materials shall be installed in accordance with the current planting procedures established by the most recent addition of the American Standard for Nursery Stock.
- Trees planted per this plan shall be installed during the spring (march 15 through june 15) or fall (september 15 through december 1). Written city approval will be required for planting during other times of the year.
- Stake and guy all trees per planting details.
- Install all shrubs and groundcover per planting details.
- Elevation of top of mulch shall be 1/2" below any adjacent pavement/turf areas.
- Root stimulator shall be applied to the soil backfill of each plant during installation.
- Contractor shall verify all landscape material quantities and shall report any discrepancies immediately to the Landscape Architect.
- Contractor shall guarantee all plant material for a period of one (1) year from date of initial acceptance. Contractor is responsible for maintaining plant material until acceptance is received. Maintenance shall include watering, maintaining plants in vertical position and shrub bed weed control.
- All plant material shall meet or exceed minimum requirements defined by the "American Standard for Nursery Stock" ANSI Z60.1.
- No plant material shall be substituted without written approval of the Landscape Architect per specifications.
- Trees and seasonal color areas shall be mulched with three (3) inches minimum shredded hardwood mulch. Planting beds as delineated shall be separated from pavement/turf areas with metal edging and mulched with three (3) inches minimum shredded hardwood mulch over weed barrier fabric, except where otherwise specified.
- All existing plant material to be retained shall be wrapped with orange, or bright, colored plastic snow fence around base of trees and around all shrubs. Stake to hold in place during construction.
- All shrubs used as parking buffer to be min. 18" tall at planting and maintained 3'-0" max. height. Install plants not to encroach upon cars parked, when at full growth.
- All trees with above a 2" caliper shall be double staked, while smaller trees shall be single staked.
- Ground mechanical and electrical equipment shall be wholly screened from street right-of-way and residential developments.
- Maximum slope shall be not greater than 3 : 1.
- All portions of site not covered by paving, mulch, plantings, etc. are to be sodded. Sod shall extend to all disturbed areas and shall include portions of right of way if necessary. Maintain positive drainage.
- Slightly mound all islands at 1/2" per 12' run.
- Set shrubs a minimum of 3 feet from other site structures - walls, walks or curbs.
- Any stiff branched, fruiting or plants with thorns that can damage vehicles are strictly prohibited.
- Utilize washed river rock cover at all planted areas adjacent to building perimeter and hardwood mulch in planting beds throughout remainder of site, unless noted otherwise.

Landscaping Calculations

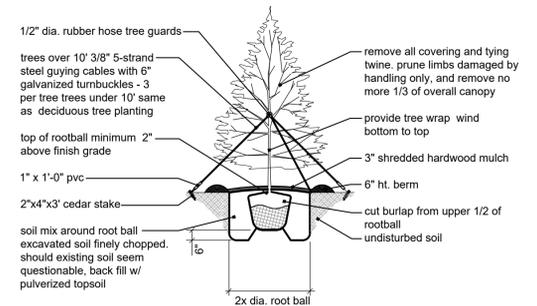
- Building/Parking Buffer Overlap**
- If a parking, loading or vehicular travel area is located between the building and the property line, then the building buffer zone shall be reduced along the area where the parking, loading or vehicular travel area is located.
- Building Street Buffer**
- 1 large stature deciduous tree or 2 flowering per 75 l.f. @ 10 l.f. = 1 large stature deciduous tree required, 1 provided
- 3 shrubs per 40 l.f. @ 10 l.f. = 3 shrubs required, 7 provided
- Parking Buffer:**
- 1 deciduous or flowering tree per 60 l.f., 1 shrub per 50 l.f.
- North @ 289 l.f. = 5 trees required, 5 provided
6 shrubs required, 8 provided
-West @ 128 l.f. = 3 trees required, 3 provided
3 shrubs required, 5 provided
-South @ 321 l.f. = 6 trees required, 6 provided
7 shrubs required, 8 provided
-East @ 117 l.f. = 2 trees required, 2 provided
3 shrubs required, 3 provided



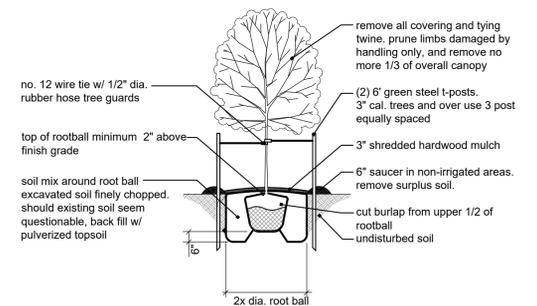
1 shrub planting detail
not to scale



2 edging detail
not to scale



3 evergreen tree planting detail
not to scale



4 deciduous tree planting detail
not to scale

a new development for
McBee's Coffee 'N Carwash
Highway 169 and Richardson
Smithville, Missouri 64081

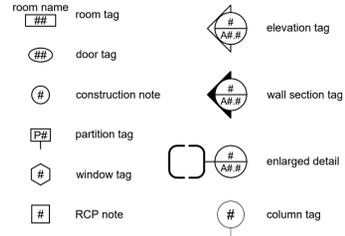
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checked by
DAE
revisions

sheet number
L1.2
drawing type
rezoning
project number
21072-13

general notes:

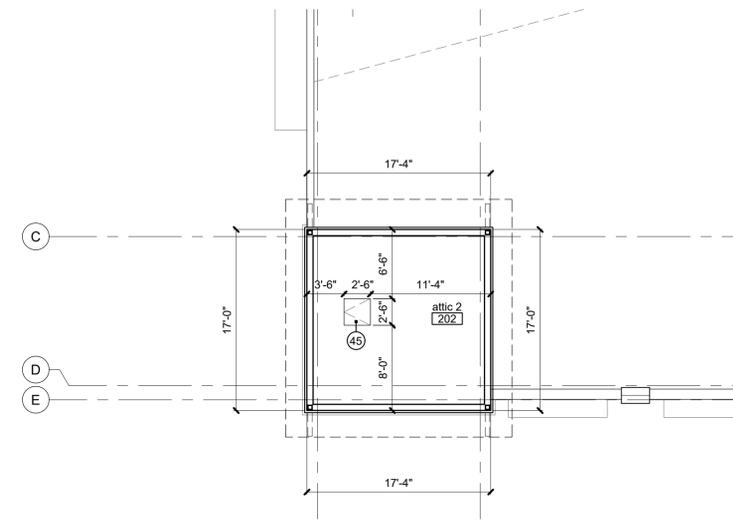
- All construction shall conform to the standards and specifications of Belton, Missouri.
- Double keyed locks are not permitted on any required or marked exit.
- Provide 3A-40BC fire extinguishers (min. 5 lb.) - location & quantity per Fire Marshal.
- Exit / emergency lighting are subject to an on site inspection.
- Furnish and install approved address numbers on front and rear of building (5" white vinyl numbers to contrast).
- HVAC system to have approved interconnected, smoke detector activated, automatic shutoffs with the detectors located in the return duct.
- Building construction must fully comply with all requirements of ADA accessibility guidelines.
- Provide 3-1/2" batt insulation in wall construction between conditioned & unconditioned spaces. Insulation to have a minimum R-13 value.
- Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort.
- Provide electrical outlets at 15" a.f.f. to the lowest outlet per ADA.
- Furnish and install supply and return per MEP drawings.
- Egress illumination will be provided at an intensity of not less than 1 foot candle at floor level & at the exterior of the building.
- Provide 1/4" tempered glass in all interior windows & sidelights (typical unless noted otherwise).
- Provide 44" min. clear in all exit passageways.
- Any new exterior utility service equipment shall be painted to match the building standard colors.
- Furnish and install horns & strobes as required.
- All electrical outlets within 6'-0" of any sink or water source to be GFCI protected.
- Furniture to be provided by the tenant throughout.
- Furnish and install adequate power for owner supplied equipment. Verify requirement with owner.
- Construction materials exposed within plenums shall be noncombustible or shall have a flame spread rating of not more than 25 and a smoke developed rating of not more than 50.
- All low voltage wire and cable, optical fiber, pneumatic tubing, and all ducts and duct coverings, linings and connectors installed within plenum areas must be rated for plenum use.
- The general contractor shall contact all utility companies prior to start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify existing surface and subsurface ground conditions prior to start of construction.

symbol legend:

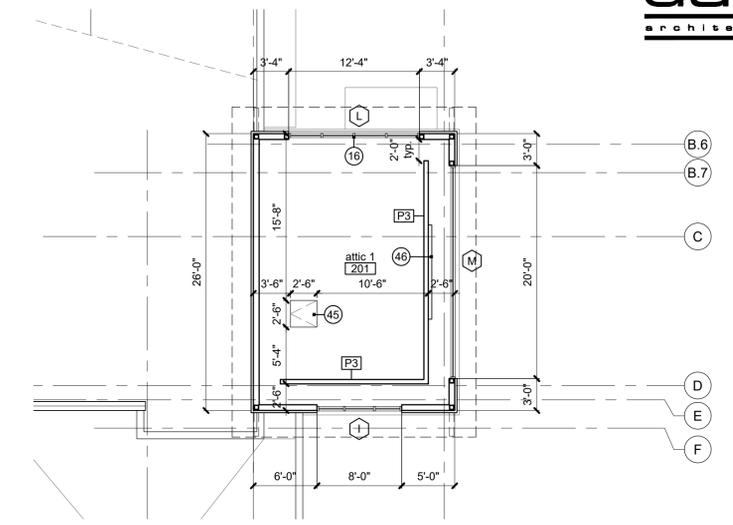


construction notes:

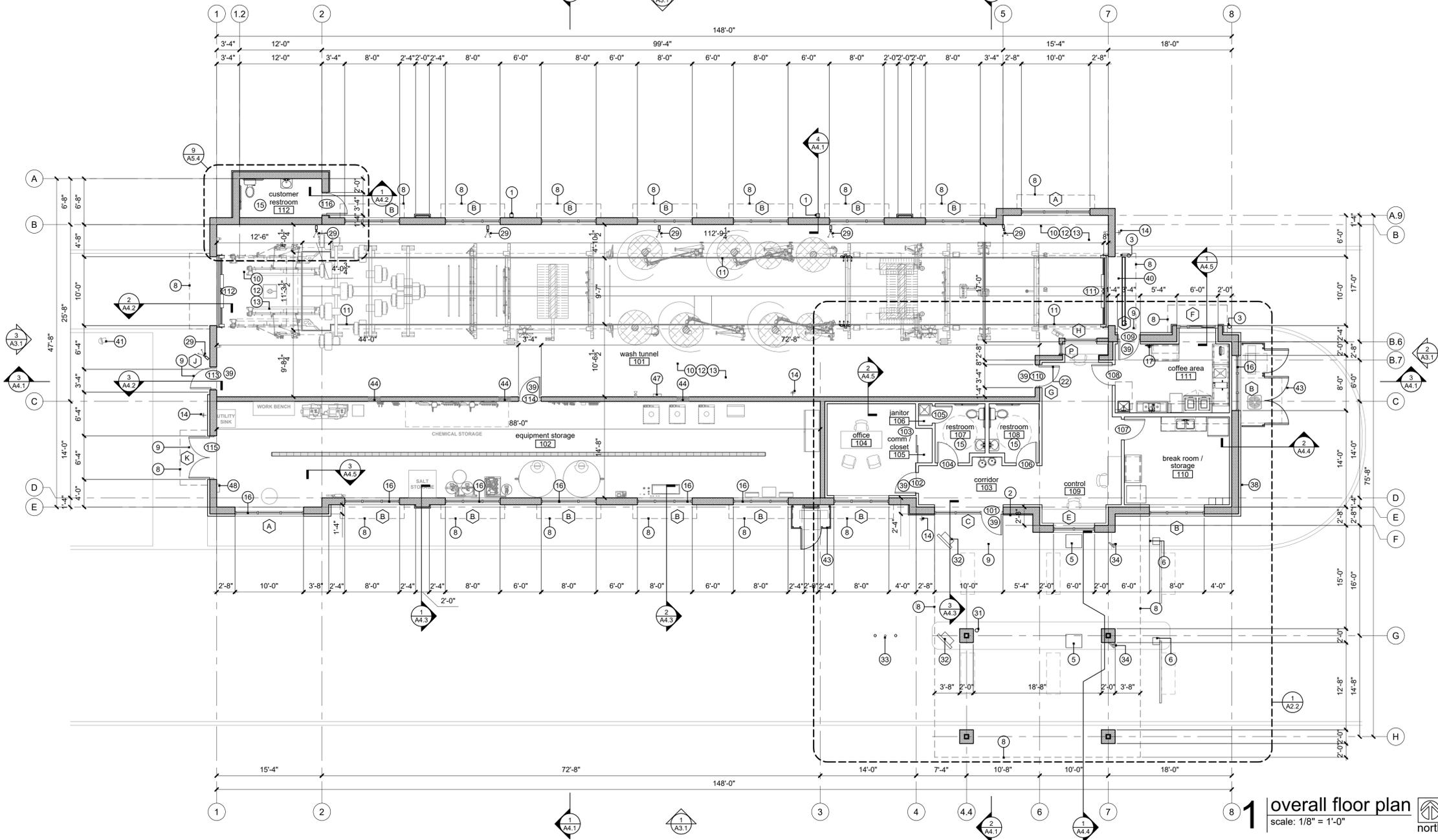
- Furnish and install pre-finished metal collector box and 6x6 downspout to tie into storm drain per civil drawings.
- Furnish and install Knox Box at 6'-0" a.f.f. - verify location with Fire Marshal.
- Furnish and install 6" dia. pea gravel concrete filled galvanized steel pipe bollard per detail - to be painted.
- Furnish and install 4" dia. pea gravel concrete filled galvanized steel pipe bollard to 38" a.f.f. per detail - to be painted. GC shall coordinate final location with pay station equipment drawings by vendor.
- Pay station kiosk by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Pay station gate by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Loop detector requirements by supplier. GC to install.
- Line of canopy above.
- Furnish and install concrete stoop to frost depth per structural.
- Slope floor to drain at 1/8" per foot minimum.
- Install concrete pit per structural drawings and details on sheet A4.8. Route system through oil / sand interceptor. Tie into sanitary as required per MEP drawings.
- Coordinate lighting, electrical and plumbing requirements at car wash tunnel with supplier.
- Car wash equipment shown for reference only, final equipment layout per equipment supplier.
- Furnish and install EasiWash cleaning system. Provide adequate power and plumbing per MEP drawings.
- Furnish and install restroom with 5" dia. turning radius per ADA, wall mount sink at 2'-10" a.f.f. per ADA, 36" x 42" horizontal grab bars at 33-36" a.f.f. - 6" & 12" from corner respectively and 18" vertical grab bar per detail. Include 24" x 48" mirror and paper towel dispenser with trash receptacle. Double roll toilet paper dispenser and wall mounted soap dispenser. Provide treated wood blocking in wall for all wall mounted items.
- Furnish and install spandrel glass on lower pane of glass below 7'-0".
- Furnish and install 3A-40BC rated fire extinguisher (min. 5 lb.) on hook - mount no higher than 5'-0" to top of extinguisher. Verify quantity and final location with Fire Marshal and confirm with architect.
- Furnish and install janitor mop basin, hose extension and mop rack. Install full height FRP on walls.
- Furnish and install hi / low drinking fountain at 34" a.f.f. to spout with forward controls per ADA.
- Furniture shown for reference only, will be provided by owner throughout.
- Owner furnished and installed 12" w. x 12" d., four-tier metal lockers.
- Furnish and install sign on coffee side of door stating: "THIS IS NOT AN EXIT"
- Furnish and install upper and lower plastic laminate (pl-2) casework at 2'-10" a.f.f. with double basin stainless steel sink with goose neck faucet and plastic laminate (pl-2) countertop. Provide adequate electrical and plumbing for full height refrigerator with ice maker and microwave.
- Furnish and install blocking in wall at hand sink mounting locations.
- Stainless steel corner guard. Install from top of base to bottom of ceiling.
- POS provided by owner. GC shall provide adequate power and data per electrical drawings.
- Furnish and install manual open / self closing, single panel slider, drive-thru window (Ready Access model #275) - color black anodized to match storefront system.
- Furnish and install stainless steel hand sink at 2'-10" a.f.f. with soap dispenser, hand sanitizer dispenser and paper towel dispenser mounted above. Provide blocking in wall as required and seal around sink to walls.
- Furnish and install adequate power for tunnel sensor cameras per supplier verify final quantity and location with supplier.
- Furnish and install plastic laminate (pl-2) sill.
- Route 3" roof drain through truss and down back side of CMU column to tie into storm system per civil drawings. Paint downspout blue to match metal.
- Smart signage by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Fast ID camera by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- FastPass reader by supplier. GC shall provide footing per structural drawings and power per electrical drawings.
- Stacked electric washer / dryer. Provide adequate plumbing and electrical per MEP drawings.
- Furnish and install Mecho Shade (or approved equal) manual roller shades at exterior window. Confirm 3% openness factor - color TBD.
- Continue 2x4 wood stud wall and gypsum board across window opening to 7'-2" a.f.f.
- Approximate location of electrical gear per electrical drawings.
- Furnish and install access control per Owner requirements and hardware schedule.
- Furnish and install trench drain at carwash entry door per civil drawings.
- Stop and Go traffic light GC shall provide power per electrical drawings.
- Furnish and install plastic laminate work top at 2'-6" a.f.f. with metal bracket support painted black per details.
- Furnish and install metal mechanical screen per details on sheet A1.2.
- Provide 8" x 1'-10" wall penetration at 11'-0" a.f.f. for equipment. GC shall verify final size and height with carwash equipment supplier.
- Furnish and install 30" x 30" maintenance access hatch to upper attic space. Coordinate exact location with truss / pre-fabricated concrete slab layout.
- Building signage mounted to full height interior wall. Verify signage is mounted at height for optimal visibility from building exterior.
- Furnish and install 4A-40BC rated fire extinguisher (min. 5 lb.) in cabinet - mount no higher than 5'-0" to top of extinguisher. Verify quantity and final location with Fire Marshal and confirm with architect.



3 attic 2 plan
scale: 1/8" = 1'-0"



2 attic 1 plan
scale: 1/8" = 1'-0"



1 overall floor plan
scale: 1/8" = 1'-0"

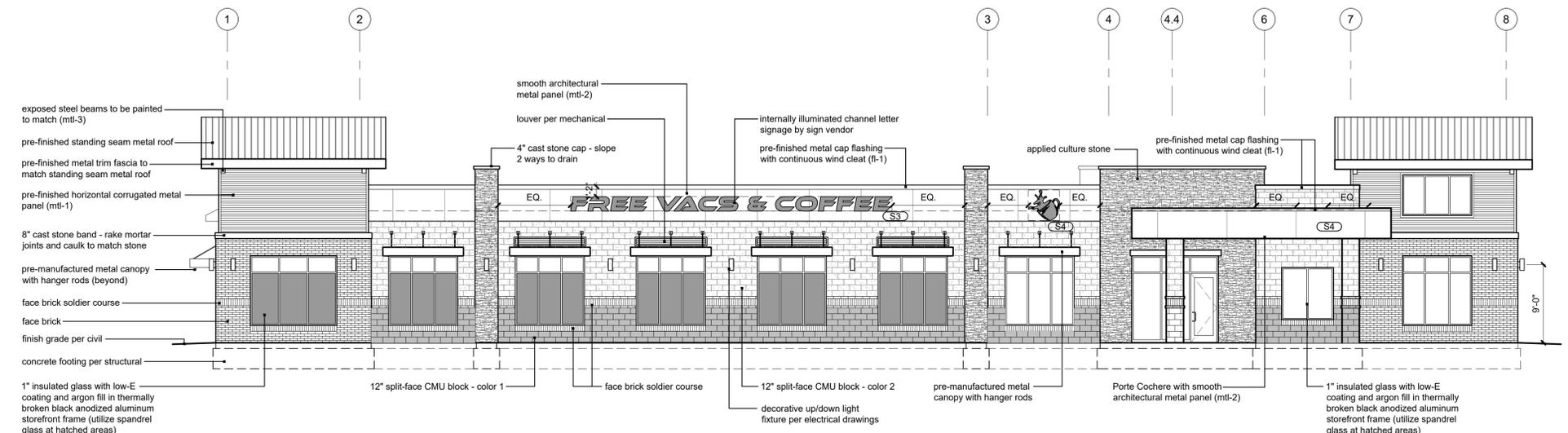
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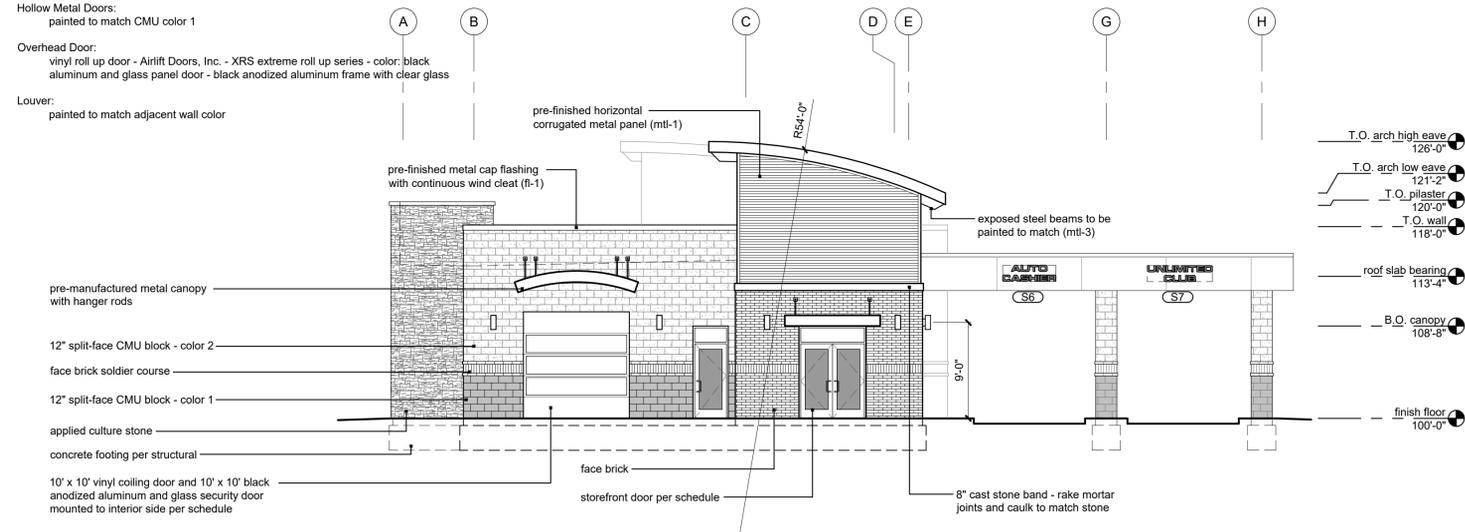
exterior materials and finishes:

- Brick:**
 - face brick - Bico Brick - color: Gettysburg
 - * or approved equal
- CMU:**
 - color 1 - Echelon, split-face - color: deep coal
 - color 2 - Echelon, smooth-face and split-face - color: limestone
 - color 3 - Echelon, smooth-face, painted block - paint color to match [mtl-2]
 - * 8" and 12" CMU block, utilize split-face and smooth-face block
 - * all block and mortar shall include integral water repellent.
- Stone:**
 - applied culture stone - Centurion - stack, color: Norris Gray
 - * or approved equal
- Stone Cap & Sill:**
 - cast stone - Midwest Cast stone - color: 1A
 - * or approved equal
- Mortar:**
 - integral color: buff
- Exterior Metal Panels:**
 - mtl-1 - horizontal corrugated metal panel - Berridge - HC-16 - 7/8" corrugated - color: charcoal gray
 - mtl-2 - smooth architectural metal panel - regional supplier - color: custom match to Pac-Clad Berkshire Blue
 - mtl-3 - pre-finished soffit panel - Pac-Clad - solid soffit panel - color: Berkshire Blue
- Standing Seam Roof:**
 - Pac-Clad - Snap-Clad standing seam - 12" spacing - color: Berkshire Blue
- Storefront Frame:**
 - black anodized aluminum frame
- Glass:**
 - clear glass - 1" insulated, low-E glass with argon fill
 - spandrel glass - 1" insulated, low-E glass with argon fill, color - charcoal (spandrel glass locations are noted by hatch in elevations) [provide samples to architect for final approval]
 - * utilize Solarban 60 (2) - clear as basis of design
 - * or approved equal to meet U-value of 0.29 and SHGC of 0.39
- Flashing:**
 - fl-1 - metal cap flashing - Pac-Clad - continuous cleat - color: Berkshire blue
- Caulk:**
 - to match adjacent wall
- Canopy:**
 - pre-finished Lumishade sun control canopies - Mapes Industries - color: custom color to match (mtl-2)
- Bollards:**
 - 4" & 6" diameter galvanized steel pipe bollard - painted blue to match (mtl-2)
- Hollow Metal Doors:**
 - painted to match CMU color 1
- Overhead Door:**
 - vinyl roll up door - Airlift Doors, Inc. - XRS extreme roll up series - color: black
 - aluminum and glass panel door - black anodized aluminum frame with clear glass
- Louver:**
 - painted to match adjacent wall color



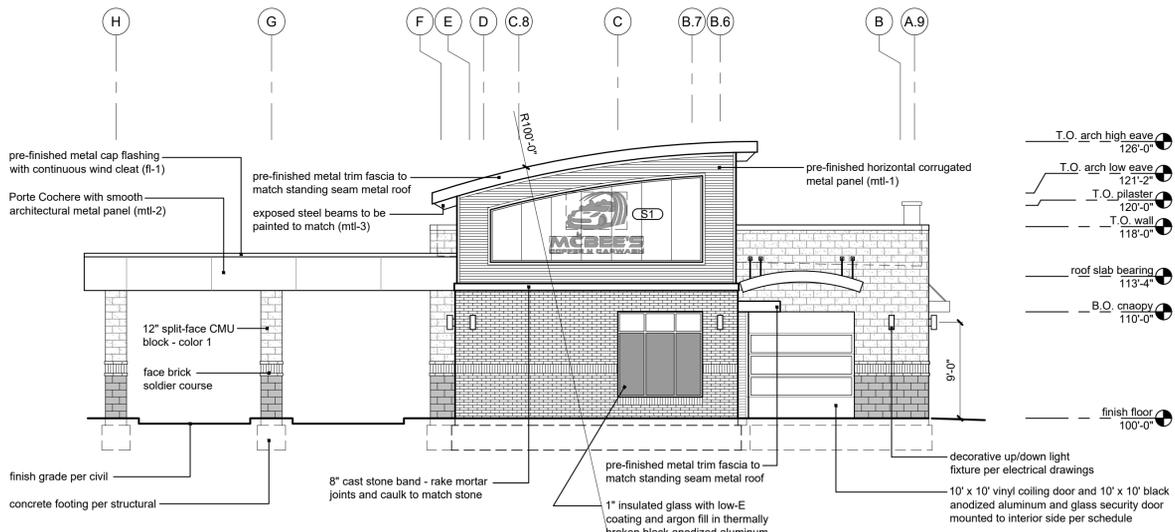
- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-2"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

1 front elevation
scale: 1/8" = 1'-0"



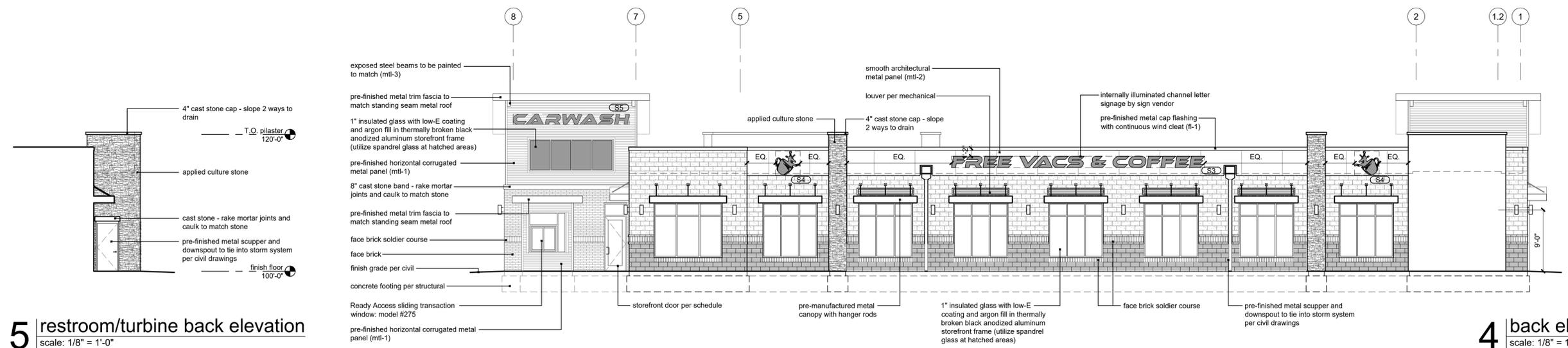
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- T.O. arch low eave 121'-2"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 108'-8"
- finish floor 100'-0"

3 CW exit elevation
scale: 1/8" = 1'-0"



- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-2"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

2 CW entry elevation
scale: 1/8" = 1'-0"



- T.O. arch high eave 126'-0"
- T.O. arch low eave 121'-2"
- T.O. plaster 120'-0"
- T.O. wall 118'-0"
- roof slab bearing 113'-4"
- B.O. canopy 110'-0"
- finish floor 100'-0"

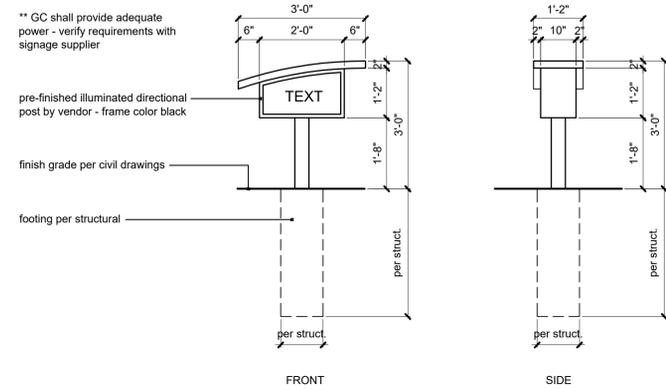
5 restroom/turbine back elevation
scale: 1/8" = 1'-0"

4 back elevation
scale: 1/8" = 1'-0"

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A3.1
drawing type rezoning
project number 21072-13

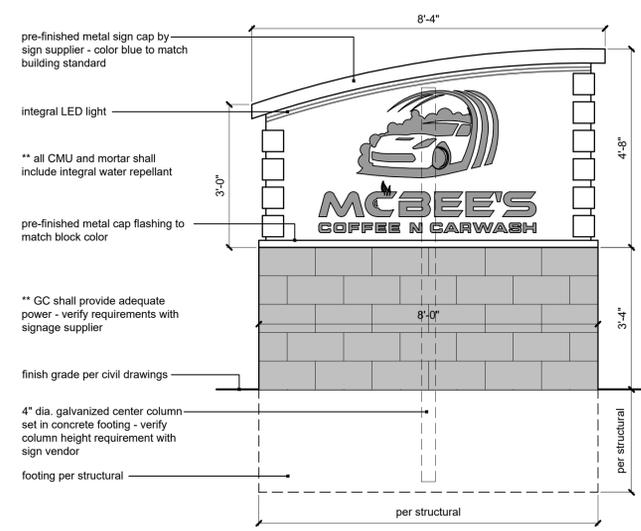


1 directional sign
scale: 1/2" = 1'-0"

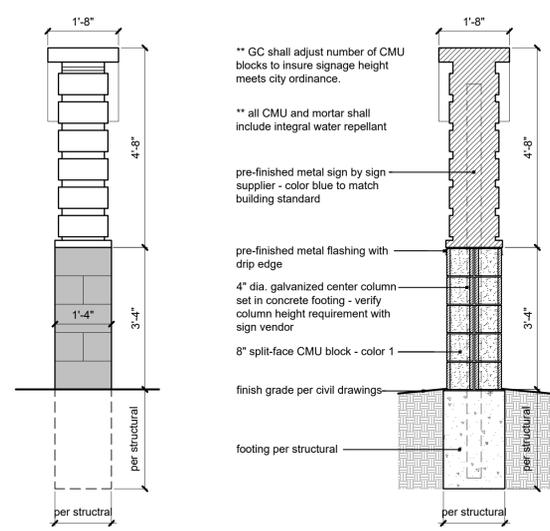
- Sign Specifications:**
- Building signs: provide conduit and wire from electrical panel to the sign. The conduit is to be 1" and have one set of 10/2 wire with ground.
 - Final electrical connections for sign shall be the sign vendors responsibility since the "J" box and wires are in place.
 - Pylon / monument signs: provide conduit from electrical panel to location of the pylon / monument sign base bury conduit under parking area. The conduit is to be 1" and have one set of 10/2 wire with ground.
 - Provide maximum allowable signage by the AHJ.

Signage Coverage			
elevation	elevation sqft.	signage sqft.	coverage %
front	3,061	74.6	2.43%
CW entry	1,057	34.2	3.23%
CW exit	1,245	0	0%
back	2,429	112.8	4.64%

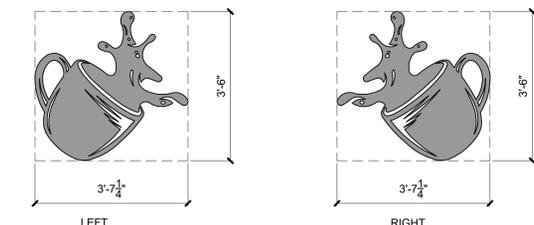
Building Signage (internally lit) [##]		
sign	overall size	sign sqft.
main logo w/ tagline (S1)	8'-10" X 5'-9"	34.2
McBee Coffee N' Carwash (S2)	8'-10" X 1'-7"	14
free vacs & coffee (S3)	37'-2 1/2" X 1'-8"	62
coffee cup (S4)	3'-7 1/4" X 3'-6"	12.6
carwash (S5)	17'-1" X 1'-6"	25.6
monument sign	7'-8" x 4'-4"	30 / side
directional sign	2'-0" X 1'-0"	2
auto cashier (S6)	5'-1/4" X 1'-6"	7.5
unlimited club (S7)	6'-1 3/4" X 1'-6"	9.2
doghead sign (S8)	2'-6" X 3'-0"	7.5
dogwash sign (S9)	10'-0" X 1'-0"	10



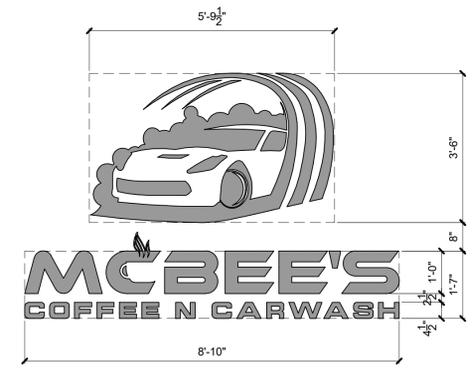
3 monument sign elevation
scale: 1/2" = 1'-0"



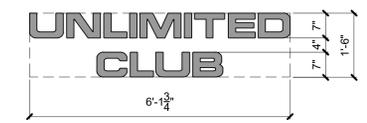
2 monument sign section
scale: 1/2" = 1'-0"



S4: Coffee Cup logo - internally lit sign
scale: 1/2" = 1'-0"



S1: main logo with tagline - internally lit sign
scale: 1/2" = 1'-0"



S7: Unlimited Club sign
scale: 1/2" = 1'-0"



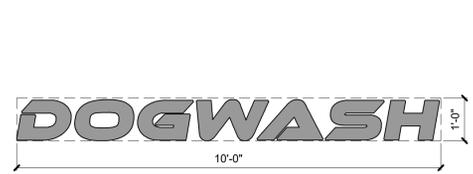
S6: Auto Cashier sign
scale: 1/2" = 1'-0"



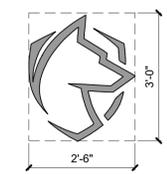
S5: Carwash logo - internally lit sign
scale: 1/2" = 1'-0"

not used

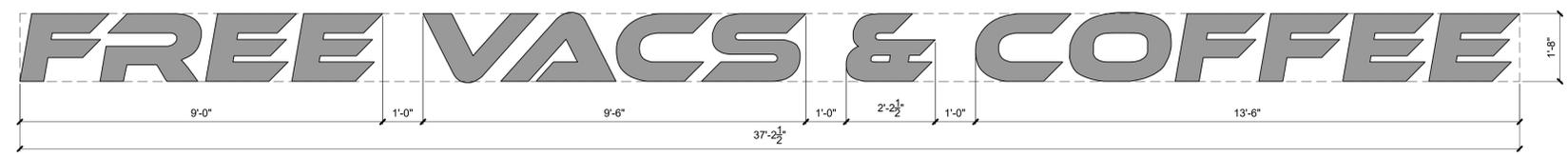
S2: McBee Coffee N' Carwash - internally lit sign
scale: 1/2" = 1'-0"



S9: dogwash sign - internally lit
scale: 1/2" = 1'-0"



S8: dog head sign
scale: 1/2" = 1'-0"



S3: McBee Coffee N' Carwash - internally lit sign
scale: 1/2" = 1'-0"

a new development for
McBee's Coffee 'N Carwash
Highway 169 and Richardson
Smithville, Missouri 64081

date
03.11.2022
drawn by
DAE
checked by
DAE
revisions

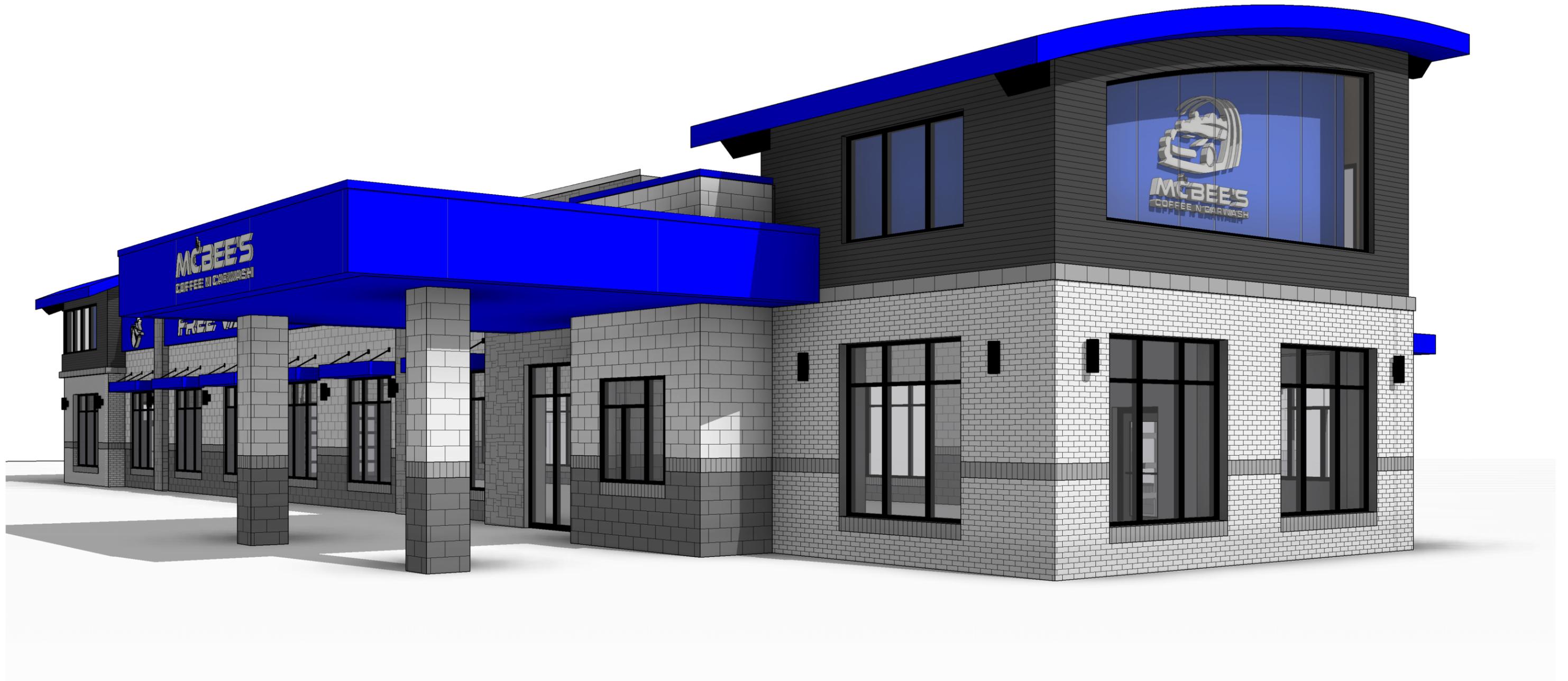
sheet number
A3.2
drawing type
rezoning
project number
21072-13



McBee's Coffee 'N Carwash



McBee's Coffee 'N Carwash



McBee's Coffee 'N Carwash



April 7, 2022
Conceptual Plan Approval of Clay County Parcel Id's
05-917-00-07-005.00 & 05-917-00-07-006.00

Application for a Conceptual Plan Approval – Fairview Crossing

Code Sections:

400.200 et seq. Planned Development Overlay District

Property Information:

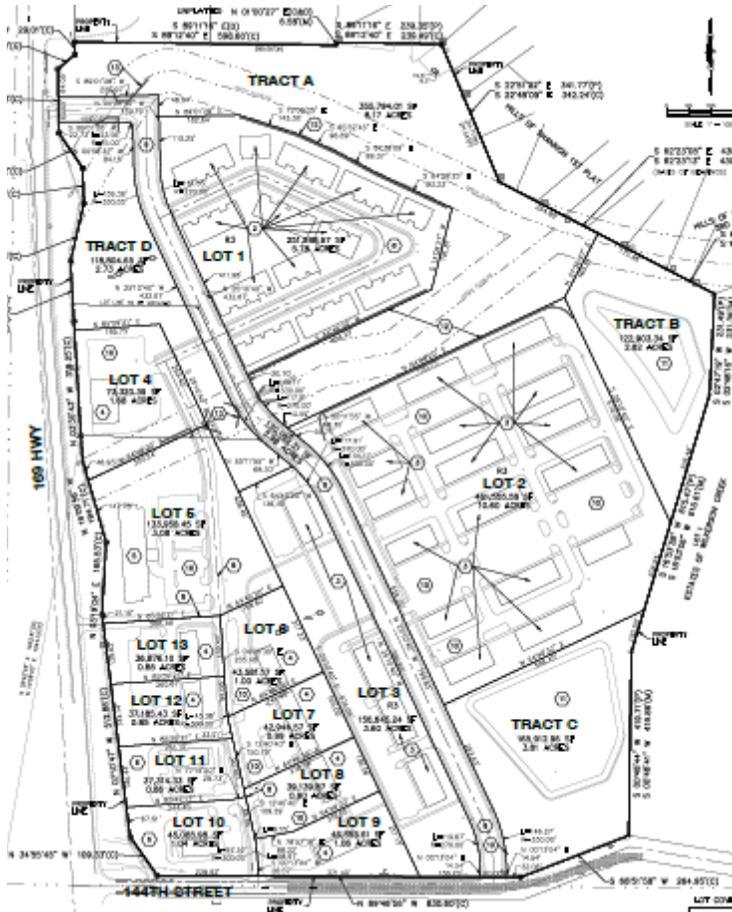
Address: NE corner of 144th St. and 169 Hwy
Owner: Kansas City Properties & Investments
Current Zoning: A-1 & B-3

Public Notice Dates:

1st Publication in Newspaper: March 24, 2022
Letters to Property Owners w/in 185': March 28, 2022

GENERAL DESCRIPTION:

The property is currently two unplatted tracts lying between 144th St. on the south and the Central Bank property just south of Commercial. The tract is approximately 53 acres and includes a large overhead power line easement that bisects the property. The proposed conceptual plan is for dividing this 53+/- acre parcel into 3 multifamily and 10 commercial lots. The multifamily would include townhomes and apartments with a calculated total of 255 dwelling units upon completion of all buildings, along with 10 commercial lots, including 2 fast food lots, a hotel lot and 7 other retail/commercial lots. Lot sizes vary, but there are some lots that will only access a private drive, which requires the conceptual plan to allow variances from basic lot size and access requirements.



400.200.B.3 Guidelines for review of a conceptual development plan for a Planned Development Overlay District, the Commission shall consider the requirements in the site plan review provisions in Section 400.390 through 400.440 when evaluating the following:

a. Topography; to ensure the site is suitable for development, and buildings are located and arranged in appropriate areas.

Development placement specifically encapsulates the existing drainage areas into the proposed retention pond areas. The estimated layout specifically separates the residential and the commercial areas on either side of the power easement, and leaves significant green space between this development and the adjacent single family. The plan would move the B-3 zoning from the east portion of the project area to the 169 frontage (currently A-1) and down-zone the current B-3 to R-3.

b. Parking; to ensure the proposed development contains an adequate amount of parking and is located in an appropriate area or adequately screened. Generally, the parking should conform to the required number of spaces appropriate to the development type as contained in Section 400.470. The Commission may allow a deviation from these parking requirements should the applicant show an adequate amount of parking exists.

Development is laid out in a fashion to meet the site plan requirements and includes sufficient parking as shown on Page 1 of the submittal. Any minor variations to building size could impact the required parking, but in no event will a tenant be able to increase a building footprint or change a use without adjusting parking to meet these requirements.

c. Setbacks; to ensure buildings provide for adequate light, air, and privacy protection by providing appropriate proportion between buildings, and adequate separation between buildings and adjoining properties.

Development leaves ample spacing between the proposed buildings, as well as the existing facilities, and leaves ample buffer from the single family properties to the east.

d. Architecture; to ensure the architectural theme is compatible and consistent throughout the project and is reasonably compatible with surrounding developments.

The Development is without tenants and seeks to create the overall look of the development without limiting potential tenants. Therefore, this Conceptual plan will require independent site plan reviews of each proposed building, and must meet the site plan requirements in existence at the time of construction, in particular only to the buildings. All other elements are identified and required as show herein.

e. Site plan; to ensure the location and arrangement of buildings, signs and other structures are appropriate for the site, existing and proposed streets, drives and public ways are arranged appropriately and to ensure site drainage has been adequately addressed.

Development prepared and submitted a Stormwater Study and has agreed to construct the required detention structures when the project begins.

f. Landscaping; to ensure the development provides adequate landscaping to provide a pleasant environment, to enhance the building's appearance, to ensure existing significant trees are adequately protected.

The Development has a large abundance of existing vegetation on the east and north, but much of it is of limited quality. Much of the buffer areas from the single family properties to the east will remain intact or converted into detention areas for stormwater protection. As stated, each separate building will be required to complete the site plan review process, and the landscaping and all other review matters will be addressed at that time.

g. Any other feature or issue associated with the State zoning and planning enabling legislation or the Comprehensive Plan for the City of Smithville for which the Commission feels is appropriate and relevant to the development of the site.

Development will include significant off-site traffic improvements that are still being reviewed by MODOT. The traffic study indicates that

multiple turn lane improvements, a future traffic light scenario at 144th St. and other adjacent road improvements will be needed. The exact scope and timing of those items will be addressed in a development agreement and incorporate all of MODOT requirements. To the extent this is a Conceptual plan, the exact locations of streets and access points is subject to change in accordance with the MODOT review and further engineering review.

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the proposed Conceptual plan based upon adherence to the conditions contained in this report, and specifically includes the following recommended findings as contained in 400.200.B.4:

1. That the Commission has reviewed the conceptual development plan with consideration of the issues contained in Subsection (B)(3) above; and
2. That the conceptual development plan is in conformance with the comprehensive land use plan and other appropriate Sections of the Code of Ordinances; and
3. That the conceptual development plan provides for an organized and unified system of land use intensities which are compatible with the surrounding areas; and
4. That the proposed development adequately protects the health, safety and general welfare of future and existing residents and property owners in and around the development.

Respectfully Submitted,

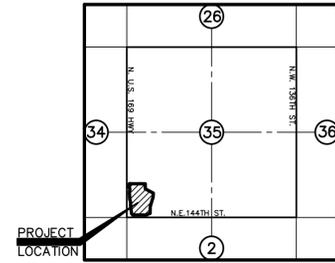
Director of Development

PLANNED DEVELOPMENT OVERLAY PLAT
FAIRVIEW CROSSING
 SMITHVILLE, CLAY COUNTY, MISSOURI
 SW.1/4, SEC. 35-T53-R33

DEVELOPER
 KANSAS CITY PROPERTIES & INVESTMENTS, LLC
 13530 MOUNT OLIVET ROAD
 SMITHVILLE, MO. 64089
 CONTACT: SHANE CREES
 PHONE: 816-719-9327
 E-MAIL: SHANE@KCCASINC.COM

PREPARED BY
 KAW VALLEY ENGINEERING
 8040 N. OAK TRAFFICWAY
 CONTACT: MATT CROSS
 PHONE: 816-468-5858
 E-MAIL: cross@kveneng.com

- GENERAL NOTES:**
- THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH LAWS AND STANDARDS FOR THE STATE OF MISSOURI.
 - THE PROPERTY HAS NO DIRECT ACCESS TO US 169 NORTH AND N.E. 144TH ST. A DEDICATED PUBLIC STREET OR HIGHWAY.
 - THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN SCHEDULE A OF THE TITLE COMMITMENT REFERENCED HEREON.
 - ANY ADDITIONAL NOTES REQUESTED BY SURVEYOR



LOCATION MAP
 CITY OF SMITHVILLE, MISSOURI

SHEET INDEX

D01	SITE PLAN
D02	DIMENSION SHEET
D03	GRADING PLAN
D04	UTILITY PLAN
D05	250' SURROUNDING AREA

NOTES

- PROPOSED TOWNHOUSE
- PROPOSED APARTMENT
- PROPOSED RETAIL BUILDING
- PROPOSED HOTEL
- PROPOSED FAST FOOD
- PROPOSED RESTAURANT
- PROPOSED PRIVATE STREET
- PROPOSED PUBLIC STREET
- PROPOSED PARKING
- PROPOSED DETENTION POND
- PROPOSED RETAINING WALL
- PROPOSED CULVERT

LEGEND

- △ SECTION CORNER, ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
- MONUMENT FOUND, ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
- 1/2" x 24" REBAR W/LS 214F CAP SET
- CLEANOUT
- CABLE TV BOX/PEDESTAL
- ELECTRIC METER
- ELECTRIC PEDESTAL
- GATE POST
- SIGN
- WATER VALVE
- ⊕ UNDERGROUND ELECTRIC
- TELEPHONE PEDESTAL
- ASPH ASPHALT
- CONC CONCRETE
- FOG FIBER OPTIC SIGN
- ⊕ SAN SEWER MANHOLE
- UTILITY POLE
- UTILITY POLE, SERVICE
- WATER VALVE
- UTILITY MANHOLE
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- STORM POST
- ⊕ STORM MANHOLE
- WATER METER
- FENCE-CHAIN LINK
- FENCE-WOOD
- UNDERGROUND ELECTRIC LINE
- OVERHEAD UTILITY LINE
- ////// LIMITS OF NO ACCESS

PROPOSED ZONING

LOT #	ZONING	LOT #	ZONING
LOT 1	R-3-P	LOT 9	B-3-P
LOT 2	R-3-P	LOT 10	B-3-P
LOT 3	R-3-P	LOT 11	B-3-P
LOT 4	B-3-P	LOT 12	B-3-P
LOT 5	B-3-P	LOT 13	B-3-P
LOT 6	B-3-P	TRACT A	B-3-P
LOT 7	B-3-P	TRACT B	B-3-P
LOT 8	B-3-P	TRACT C	B-3-P

*BUILDING HEIGHTS - TBD

RECORD DESCRIPTION

TRACT I:
 ALL OF THE SOUTHWEST QUARTER OF SECTION THIRTY-FIVE (35) IN TOWNSHIP FIFTY-THREE (53), RANGE THIRTY-THREE (33), IN CLAY COUNTY, MISSOURI, SUBJECT TO THAT PART, IF ANY, IN STREETS, ROADWAYS, HIGHWAYS OR OTHER PUBLIC RIGHT-OF-WAYS, EXCEPT THE FOLLOWING DESCRIBED TRACTS:
 ALL OF A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 53 NORTH, RANGE 33 WEST, CLAY COUNTY, MISSOURI DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER, THENCE SOUTH 01 DEGREES 03 SECONDS 27 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER 50.34 FEET TO A POINT; THENCE SOUTH 89 DEGREES 11 MINUTES 16 SECONDS EAST, 79.22 FEET TO A SET 5/8 INCH SET REBAR AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY OF U.S. HIGHWAY 169 AND THE SOUTH RIGHT-OF-WAY LINE OF COMD BEARS NORTH 01 DEGREES TRU POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 11 MINUTES 16 SECONDS EAST ALONG THE SOUTH RIGHT-OF-WAY LIEN OF COMMERCIAL AVENUE 328.40 FEET TO A 5/8 INCH SET REBAR; THENCE SOUTH 00 DEGREES 48 MINUTES 44 SECONDS WEST, 10.0 FEET TO A 5/8 INCH SET REBAR; THENCE SOUTH 89 DEGREES 11 MINUTES 16 SECONDS EAST ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID SOUTHWEST QUARTER 330.05 FEET TO A 5/8 INCH SET REBAR; THENCE SOUTH 01 DEGREES 00 MINUTES 27 SECONDS WEST ALONG A LINE PARALLEL TO THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 35, 646.85 FEET TO A 5/8 INCH SET REBAR; THENCE NORTH 89 DEGREES 11 MINUTES 16 SECONDS WEST ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID SOUTHWEST QUARTER 678.96 FEET TO A 5/8 INCH SET REBAR ON THE EAST RIGHT-OF-WAY OF U.S. HIGHWAY 169; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING BEARINGS AND DISTANCES NORTH 03 DEGREES 13 MINUTES 44 SECONDS EAST, 97.19 FEET; THENCE SOUTH 88 DEGREES 46 MINUTES 16 SECONDS EAST, 70.0 FEET; THENCE NORTH 03 DEGREES 13 MINUTES 44 SECONDS EAST, 20.0 FEET; THENCE NORTH 85 DEGREES 46 MINUTES 16 SECONDS WEST 75.0 FEET; THENCE NORTH 03 DEGREES 13 MINUTES 44 SECONDS EAST, 540.03 FEET TO THE POINT OF BEGINNING, FILED FOR RECORD AS INSTRUMENT NO. F59666 IN BOOK 1732 AT PAGE 984. AND EXCEPT:
 A TRACT OF LAND LYING AND BEING SITUATED IN THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 53 NORTH, RANGE 33 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, COUNTY OF CLAY, STATE OF MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT A FOUND ALUMINUM MONUMENT AT THE SOUTHWEST CORNER OF SECTION 35 TOWNSHIP 53 NORTH, RANGE 33 WEST; THENCE NORTH 09 DEGREES 40 MINUTES 03 SECONDS EAST, 1042.51 FEET TO A SET 5/8 INCH IRON PIN WITH CAP, SAID POINT BEING ON THE TRUE POINT OF BEGINNING; THENCE NORTH 01 DEGREES 46 MINUTES 04 SECONDS WEST 255.81 FEET TO A SET COPPERWELD; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 11,188.72 FEET, A DISTANCE OF 44.56 FEET, AND CHORD BEARS NORTH 01 DEGREES 38 MINUTES 45 SECONDS WEST TO A SET COPPERWELD; THENCE SOUTH 88 DEGREES 55 MINUTES 34 SECONDS EAST 285.82 FEET TO A SET 5/8 INCH IRON PIN WITH CAP; THENCE SOUTH 25 DEGREES 06 MINUTES 39 SECONDS EAST 334.31 FEET TO A SET 5/8 INCH IRON PIN WITH CAP; THENCE NORTH 88 DEGREES 55 MINUTES 28 SECONDS WEST, 418.65 FEET TO THE POINT OF BEGINNING AND EXCEPT THE FOLLOWING PLATS ALL OF HILLS OF SHANNON - FIRST PLAT, A SUBDIVISION IN THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI, FILED FOR RECORD AS INSTRUMENT NO. M29883 IN BOOK 10 AT PAGE 55.
 ALL OF HILLS OF SHANNON - SECOND PLAT, A SUBDIVISION IN THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI, FILED FOR RECORD AS INSTRUMENT NO. M72777 IN BOOK E AT PAGE 3.
 ALL OF HILLS OF SHANNON - THIRD PLAT, A SUBDIVISION IN THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI, FILED FOR RECORD AS INSTRUMENT NO. N19596 IN CABINET E SLEEVE 28.
 ALL OF HILLS OF SHANNON - FOURTH PLAT, A SUBDIVISION IN THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI, FILED FOR RECORD AS INSTRUMENT NO. P24772 IN CABINET E SLEEVE 97.
 ALL OF HILLS OF SHANNON - FIFTH PLAT, A SUBDIVISION IN THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI, FILED FOR RECORD AS INSTRUMENT NO. Q11906 IN CABINET E SLEEVE 152.
 ALL OF ESTATES OF WILKERSON CREEK, A SUBDIVISION IN THE CITY OF SMITHVILLE, CLAY COUNTY, MISSOURI, FILED FOR RECORD AS INSTRUMENT NO. 2019039687 IN BOOK 1 AT PAGE 88.
 A TRACT II:
 A TRACT OF LAND LYING AND BEING SITUATED IN THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 53 NORTH, RANGE 33 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, COUNTY OF CLAY, STATE OF MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
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SURVEYOR'S NOTE:

MONUMENTS RECOVERED NEAR THE EAST RIGHT-OF-WAY LINE OF MO ROUTE 169 IN THE VICINITY OF TRACT II RECORDED IN QUILCLAIM DEED IN BOOK 7899, PAGE 80 DO NOT FIT THE RIGHT-OF-WAY AS ESTABLISHED BY WARRANTY DEED RECORDED IN BOOK 2877, PAGE 921. BETWEEN A COMBINATION OF FOUND STAMPED STATIONING IN THE CONCRETE CURB OF THE PAVEMENT, A 3/8" IRON BAR ON THE EAST R/W LINE OF THE SUBJECT PROPERTY AT STATION 11+410.25 METERS LEFT AND A FEW R/W MONUMENTS LYING NORTH OF THE SUBJECT PROPERTY ALSO CHECKING WELL WITH RECORD STATION AND OFFSET IT WAS DETERMINED THAT THE RIGHT-OF-WAY AS DEPICTED IN THE 2017 QUILCLAIM DID NOT FIT THE STATIONING OF THE HIGHWAY BY APPROXIMATELY 6 FEET TO THE SOUTH AND IS AT A SKEW TO THE EXISTING PAVEMENT AND RIGHT-OF-WAY AS MONUMENTED.

BASIS OF BEARINGS:

GRID BEARING OF S 62°23'13" E ON THE SOUTHWEST PLAT LINE OF HILLS OF SHANNON 1st PLAT AS DETERMINED BY GLOBAL POSITIONING SYSTEM OBSERVATIONS USING MODOT VRS, 2012 GEOID, AND REFERENCED TO THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE (NAD83).

SURVEY REFERENCE:

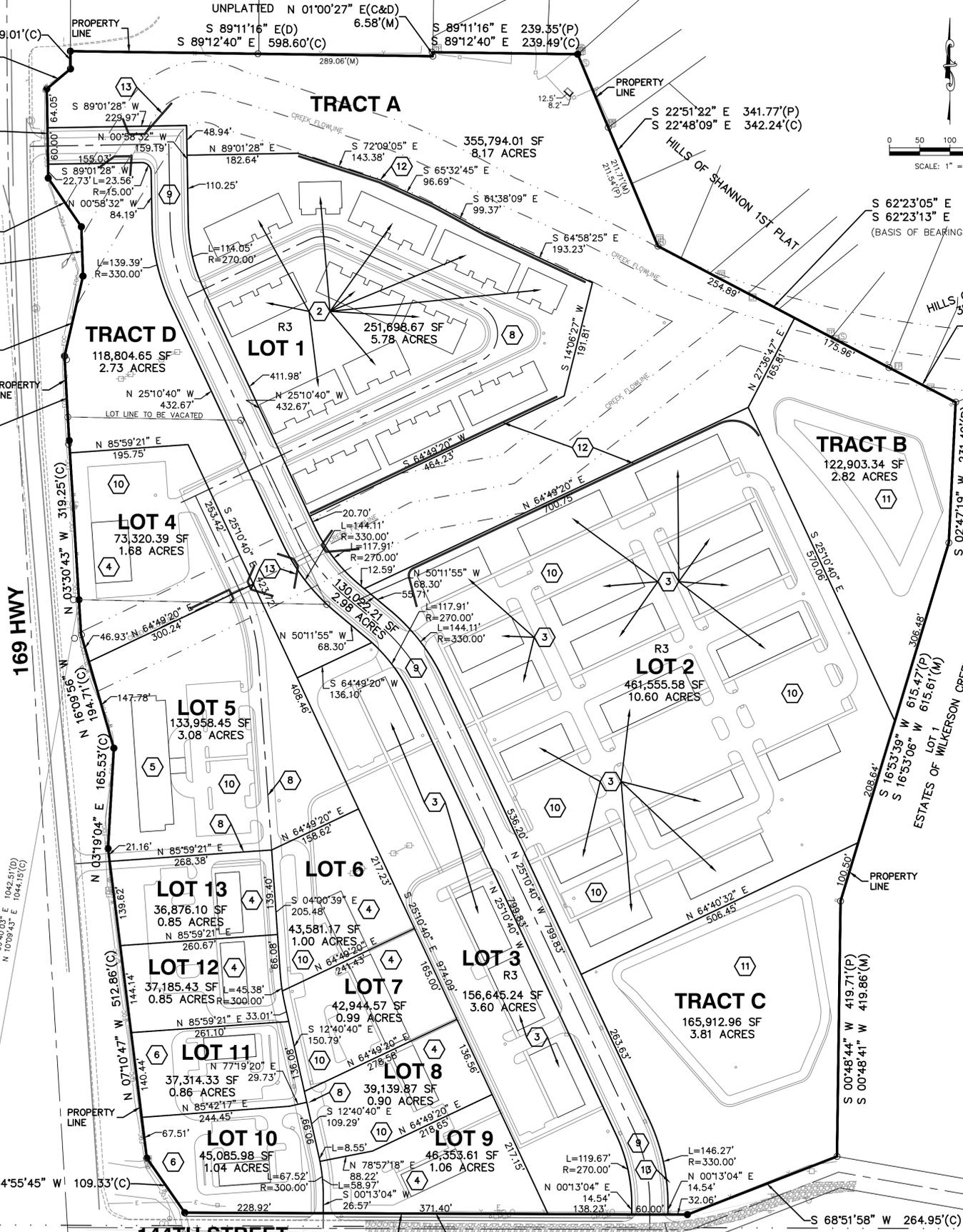
SURVEY PERFORMED BY KAW VALLEY ENGINEERING, INC. WITH PROJECT NO. B2154229, DATED 6/03/2021.

LOT COVERAGE

DESCRIPTION	SITE ACRES	SITE SF	COVERAGE	LOT COVERAGE
BUILDING	52.8 ACRES	2,299,097 SF	266,695 SF	11.6%
HARD SURFACE			569,787 SF	24.8%
OPEN AREA			836,482 SF	63.6%
TOTALS	52.8 ACRES	2,299,097 SF	2,299,097 SF	100%

BLDG SF/SITE SF=LOT COVERAGE

LOT #	ZONE	USE	PARKING REQUIRED	ACCESSIBLE PARKING REQUIRED (ADA)	PARKING PROVIDED (ADA)
1	R-3-P	TOWNHOMES	2/UNIT	46x2= 92	92
2	R-3-P	APARTMENTS	2/UNIT	169x2= 338 (8)	339 (8)
3	R-3-P	APARTMENTS	2/UNIT	40x2= 80 (4)	80 (4)
4	B-3-P	RETAIL/COMMERCIAL	1/200SF	6,000/200= 30 (2)	31 (2)
5	B-3-P	HOTEL	1/UNIT + 1/2 EMPLOYEES	58 (3)	58 (4)
6	B-3-P	RETAIL/COMMERCIAL	1/200SF	4,000/200= 20	18 (2)
7	B-3-P	RETAIL/COMMERCIAL	1/200SF	4,000/200= 21	41 (2)
8	B-3-P	RETAIL/COMMERCIAL	1/200SF	4,000/200= 22	43 (2)
9	B-3-P	RETAIL/COMMERCIAL	1/200SF	4,000/200= 23	27 (2)
10	B-3-P	FAST FOOD	1/2 SEATS (MIN. 10)	10	22 (2)
11	B-3-P	FAST FOOD	1/2 SEATS (MIN. 10)	10	22 (2)
12	B-3-P	RETAIL/COMMERCIAL	1/200SF	4,000/200= 26	27 (2)
13	B-3-P	RETAIL/COMMERCIAL	1/200SF	4,000/200= 27	17 (2)



UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

FLOOD STATEMENT:

THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEY PARCEL LIES WITHIN FLOOD HAZARD ZONE "X, NON-SHADED" AS SAID PARCEL PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP FOR CITY OF SMITHVILLE, COMMUNITY PANEL NO. 29047C0102E, effective on 08/03/2015



CHK	
DWN	
MAC	
DSN	
DATE	03/03/22
REV	0

INITIAL SUBMITTAL

PROJECT DESCRIPTION

FAIRVIEW CROSSING
 144TH STREET & 169 HIGHWAY
 SMITHVILLE, CLAY COUNTY, MISSOURI

PLANNED OVERLAY DEVELOPMENT PLAN
 SITE PLAN

PROJ. NO. B21D4349
 DESIGNER MAC
 DRAWN BY JNG
 SHEET D01
 REV 0

MATTHEW A. CROSS
 ENGINEER
 MO # 2020008364

8040 N. OAK TRAFFICWAY
 KANSAS CITY, MISSOURI 64118
 PH: (816) 468-5858
 kve@kveneng.com | www.kveneng.com

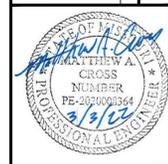
KAW VALLEY ENGINEERING
 KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842.
 EXPIRES 12/31/23

Y:\B21_4349_169 and 144th\DWG\DESIGN\B21D4349PPAT.dwg, 3/3/2022 7:07:10 PM, jernind

THIS DRAWING SHALL NOT BE REPRODUCED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.

PLANNED DEVELOPMENT OVERLAY PLAT
FAIRVIEW CROSSING
 SMITHVILLE, CLAY COUNTY, MISSOURI
 SW.1/4, SEC. 35-T53-R33

REV	DATE	DESCRIPTION
0	03/03/22	INITIAL SUBMITTAL
		MAC JAD
		DSN DWN CHK



MATTHEW A. CROSS
 ENGINEER
 MO # 2020008364

8040 N. OAK TRAFFICWAY
 KANSAS CITY, MISSOURI 64118
 PH: (816) 451-1234
 www.kawvalley.com | www.kawvalley.com

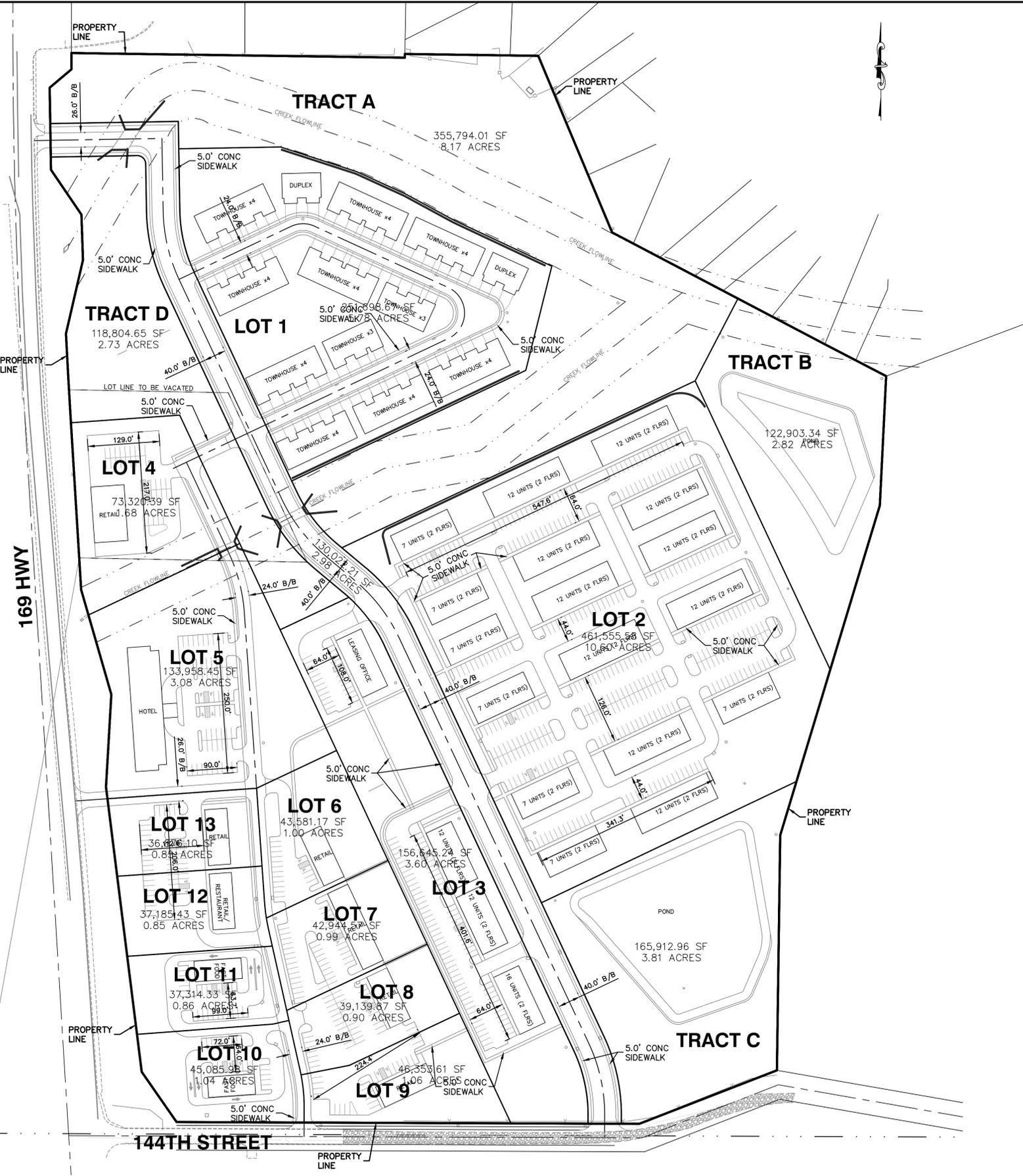
KAW VALLEY ENGINEERING

KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23

FAIRVIEW CROSSING
 144TH STREET & 169 HIGHWAY
 SMITHVILLE, CLAY COUNTY, MISSOURI

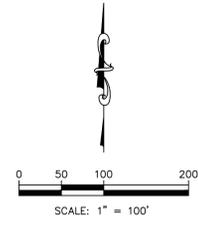
**PLANNED OVERLAY DEVELOPMENT PLAN
 DIMENSION SHEET**

PROJ. NO.	B21D4349
DESIGNER	MAC
DRAWN BY	JNG
CFN	4349DOD-DIM
SHEET	D02
REV	0



Y:\B21_4349_169 and 144th\DWG\DESIGN\144th\4349DOD-DIM.dwg, 3/3/2022 7:07:15 PM, jengm

PLANNED DEVELOPMENT OVERLAY PLAT
FAIRVIEW CROSSING
 SMITHVILLE, CLAY COUNTY, MISSOURI
 SW.1/4, SEC. 35-T53-R33

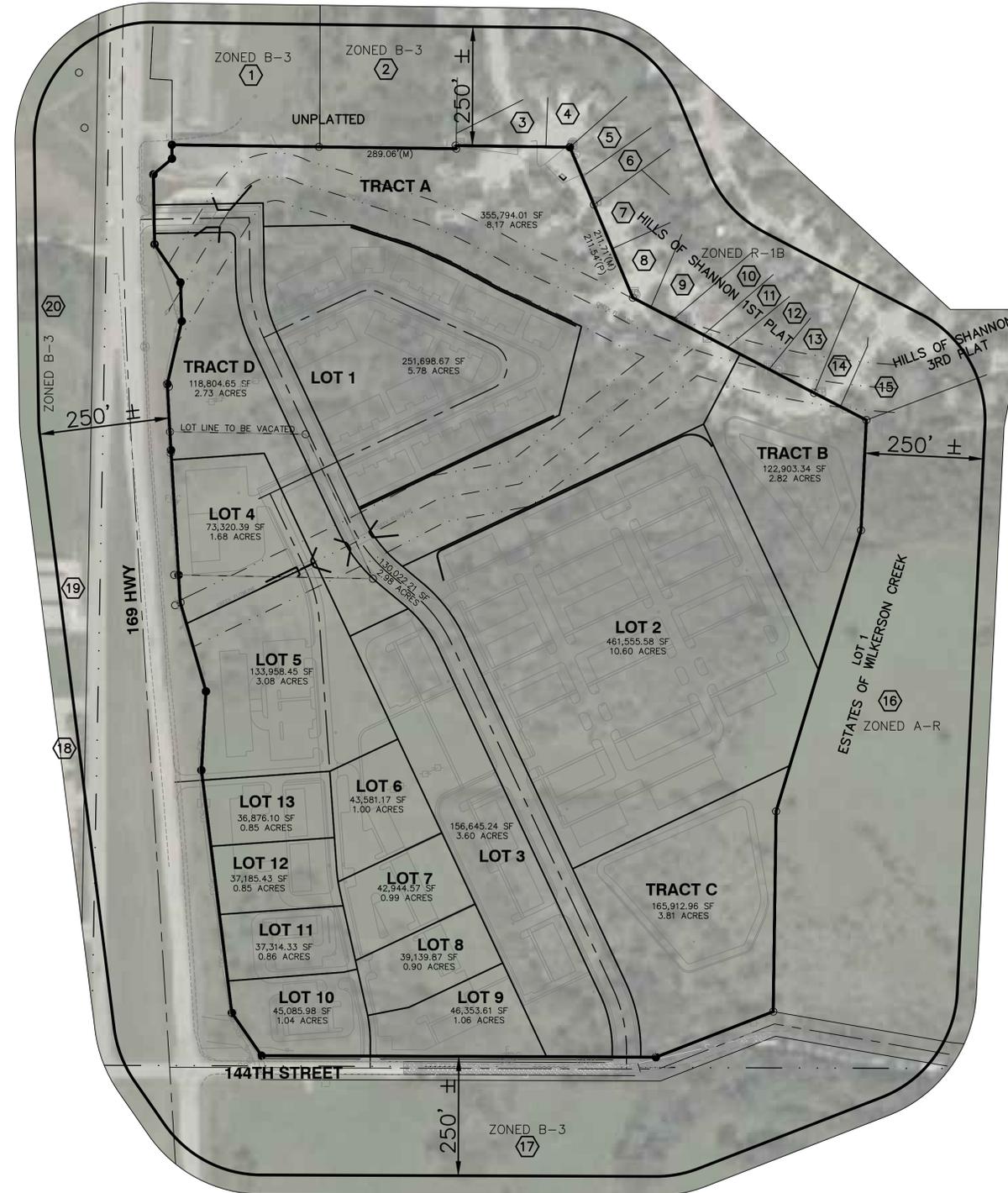


DEVELOPER
 KANSAS CITY PROPERTIES & INVESTMENTS, LLC
 13530 MOUNT OLIVET ROAD
 SMITHVILLE, MO. 64089
 CONTACT: SHANE GREES
 PHONE: 816-719-9327
 E-MAIL: SHANE@KCSINC.COM

PREPARED BY
 KAW VALLEY ENGINEERING
 8040 N. OAK TRAFFICWAY
 CONTACT: MATT CROSS
 PHONE: 816-468-5858
 E-MAIL: cross@kveng.com



I.D.	P.I.D.	PROPERTY ADDRESS	PROPERTY OWNER
1	05917000700700	1603 S 169 HWY	PLATTE VALLEY BANK OF MISSOURI
2	05917000700800	1601 S 169 HWY	HERSHEWE PROPERTIES LLC
3	05917000300800	105 HUDSON LN	KASINGER KEVIN RAY & JERRI LYNN
4	05917000300900	103 HUDSON LN	CHAMBERS DAVID R
5	05917000301100	14624 SHAMROCK WAY	EVERSOLE JEFF
6	05917000301200	14622 SHAMROCK WAY	BURNS LARRY D
7	05917000301400	102 GILLILAND CR	MILDENBERGER HENRY W & KARRI K
8	05917000301500	104 GILLILAND CR	ETZENHOUSER SHAWN M & MELISSA M
9	05917000301600	103 GILLILAND CR	DEVEL WILLIAM R & BRIDGETTE A
10	05917000301800	14614 SHAMROCK WAY	SUTHERLAND KATHRYN & CORWIN
11	05917000301900	14612 SHAMROCK WAY	MOORE CHRISTOPHER
12	05917000302000	14610 SHAMROCK WAY	CONE DONALD L & F DIANE
13	05917000302100	14608 SHAMROCK WAY	CONE DONALD L & F DIANE
14	05917000302200	14606 SHAMROCK WAY	RATZLOFF ROXANNE & TONY D
15	05917000302300	SHAMROCK WAY	HILLS OF SHANNON HOMES ASSOC
16	05917000700400	300 NE 144TH ST	GLANZER JAY B & PENELPE L
17	09301000100300	N 169 HWY	HANSFORD WILLIAM W JR
18	05820000200700	1706 S 169 HWY	MDC COAST 12 LLC
19	05820000200900	14506 N 169 HWY	ESSERS INC
20	05820000200300	14600 N 169 HWY	SK HOLDING LLC



03/03/22	INITIAL SUBMITTAL	MAC	JAD	DSN	DWN	CHK
0	REV					



MATTHEW A. CROSS
 ENGINEER
 MO # 2020008364

8040 N. OAK TRAFFICWAY
 KANSAS CITY, MISSOURI 64118
 PH: (816) 468-5858
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KAW VALLEY ENGINEERING

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FAIRVIEW CROSSING
 144TH STREET & 169 HIGHWAY
 SMITHVILLE, CLAY COUNTY, MISSOURI

PLANNED OVERLAY DEVELOPMENT PLAN
 250' SURROUNDING AREAS

PROJ. NO. **B21D4349**

DESIGNER **MAC** DRAWN BY **JMG**

CFN **4349D00-250**

SHEET **D05** REV **0**

Y:\B21_4349_169 and 144th\DWG\DESIGN\B21D4349D00-250.dwg, 3/3/2022 7:07:26 PM, jmgm4d